

MSU PAISLEY COURT HOUSING

101 PAISLEY COURT
BOZEMAN, MT, 59715

ISSUE DATE: 03/29/2024

MSU PPA NUMBER: 21-0143
A&E PROJECT NUMBER: 21-0143



MSU-CPDC
MONTANA STATE UNIVERSITY
BOZEMAN, MONTANA
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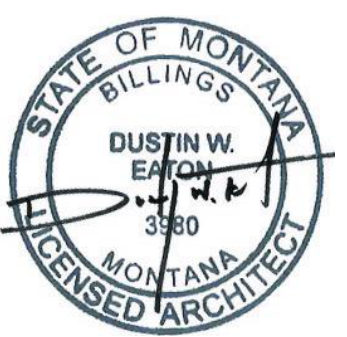
MSU PAISLEY COURT
HOUSING

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REV.	DESCRIPTION	DATE



PPA #: 21-0143

A/E #: 21-0143

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SHEET TITLE
COVER SHEET

SHEET
GO.0

DATE
03/29/24

ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	GA GAUGE	R RADIUS
ABV ABOVE	GALV GALVANIZED	RA RETURN AIR
A/C AIR CONDITIONING	GB GYPSUM BOARD	RB RUBBER BASE
ACT ACOUSTICAL CEILING TILE	GC GENERAL CONTRACTOR	RD ROOF DRAIN
ADDL ADDITIONAL	GL GLASS, GLAZING	RECY RECYCLE(D)
ADJ ADJUSTABLE	GWB GYPSUM WALL BOARD	REF REFERENCE
AFF ABOVE FINISH FLOOR	GYP GYPSUM	REFRIG REFRIGERATOR OR REFRIGERATION
ALT ALTERNATE	HC HANDICAP	REINF REINFORCE
ALUM ALUMINUM	HDR HEADER	REQD REQUIRED
ARCH ARCHITECT(URAL)	HDW HARDWARE	RM ROOM
AWN AWNING	HM HOLLOW METAL	RO ROUGH OPENING
B/ BOTTOM OF	HORIZ HORIZONTAL	ROW RIGHT OF WAY
BD BOARD	HR HOUR	S SOUTH
BLDG BUILDING	HT HEIGHT	SC SOLID CORE
BLKG BLOCKING	HTD HEATED	SCD SCHEDULE
BM BEAM OR BENCHMARK	HVAC HEATING/VENTILATION & AIR CONDITIONING	SCH SCHEDULED
BRG BEARING	ID INSIDE DIAMETER	SECT SECTION
BTWN BETWEEN	INFO INFORMATION	SF SQUARE FEET
BUR BUILT-UP ROOF	ISO ISOCYANURATE	SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL
CAB CABINET	INSUL INSULATE / INSULATION	SGL SINGLE
CJ CONTROL JOINT	INT INTERIOR	SHT SHEET
CL CENTERLINE	INV INVERT	SHTG SHEATHING
CLG CEILING	IT INFORMATION	SIM SIMILAR
CMU CONCRETE MASONRY UNIT	JT JOINT	SPECS SPECIFICATIONS
CO CLEAN OUT	J-BOX JUNCTION BOX	SOD SLAB ON DECK
COL COLUMN	KIT KITCHEN	SOG SLAB ON GRADE
CONC CONCRETE	L LONG / LENGTH	SOH SAME OPPOSITE HAND
CONT CONTINUOUS	LAM LAMINATE(D)	SS STAINLESS STEEL
CONST CONSTRUCTION	LAV LAVATORY	ST STONE TILE
CG CORNER GUARD	LF LINEAR FEET	STD STANDARD
CPT CARPET	LT LIGHT	STL STEEL
CSMT CASEMENT	MAS MASONRY	STRUCT STRUCTURAL
CT CERAMIC TILE	MATL MATERIAL	TEMP TEMPERED
D DEEP	MAX MAXIMUM	THK THICK
DF DRINKING FOUNTAIN	MECH MECHANICAL	THRESH THRESHOLD
DH DOUBLE HUNG	MEZZ MEZZANINE	T.O. TOP OF
DM(S) DIMENSIONS	MFR MANUFACTURER	TOBM TOP OF BEAM
DISP DISPENSER	MH MANHOLE	T.O.BM. TOP OF BEAM
DN DOWN	MIN MINIMUM	T.O.P. TOP OF PLATE
DR DOOR	MISC MISCELLANEOUS	T.O.S. TOP OF STEEL
DS DOWNSPOUT	MO MASONRY OPENING	T/ TOP OF
DTL DETAIL	MTL METAL	T&G TONGUE AND GROOVE
DWG DRAWING	N NORTH	TEL TELEPHONE
E EAST	NIC NOT IN CONTRACT	THK THICK
EA EACH	NOM NOMINAL	TRANS TRANSOM
EC EXISTING COLUMN	NTS NOT TO SCALE	TV TELEVISION
EJ EXPANSION JOINT	OC ON CENTER	TYP TYPICAL
ELEC ELECTRICAL	OD OUTSIDE DIAMETER OR OVERFLOW	UL UNDERWRITERS LABORATORY
EL ELEVATION	OPNG OPENING	UNO UNLESS NOTED OTHERWISE
ELEV ELEVATOR	OPP OPPOSITE	VB VINYL BASE
EQ EQUAL	OSB ORIENTED STRAND BOARD	VCT VINYL COMPOSITION TILE
EQUIP EQUIPMENT	OVD OVERHEAD	VERT VERTICAL
EWC ELECTRIC WATER COOLER	PL PLATE	VEST VESTIBULE
EXH EXHAUST	PLAM PLASTIC LAMINATE	VIF VERIFY IN FIELD
EXIST EXISTING	PLUMB PLUMBING	VP VENEER PLASTER
EXP EXPANSION OR EXPOSED	PLYWD PLYWOOD	VR VAPOR RETARDER
EXT EXTERIOR	PNL PANEL	VT VINYL TILE
FACP FIRE ALARM CONTROL PANEL	PNT PAINT	VWC VINYL WALL COVERING
FD FLOOR DRAIN	POLY POLYESTER OR POLYOLEFIN	W WIDE OR WEST
FE FIRE EXTINGUISHER	PSF POUNDS PER SQUARE FOOT	WC WATER CLOSET
FEC FIRE EXTINGUISHER CABINET	PSI POUNDS PER SQUARE INCH	WD WOOD
FF FINISH FLOOR	PT PRESSURE TREATED OR POINT	WDW WINDOW
FIN FINISH	PVMT PAVEMENT	WG WALL GUARD
FIXT FIXTURE	QT QUARRY TILE	WH WATER HEATER
FLR FLOOR	QTR QUARTER	WIN WITHIN
FND FOUNDATION	QTY QUANTITY	W/O WITHOUT
FP FIRE PROTECTION		WP WATERPROOF
FR FRAME		WR WATER RESISTANT
FRMG FRAMING		WT WEIGHT
FT FEET/FOOT OR FIRE TREATED		WWF WELDED WIRE FABRIC
FTG FOOTING		# NUMBER OR POUND
FTNG FOOTING		@ AT
FRP FIBERGLASS REINFORCED PANEL		
FRT FIRE RETARDANT TREATED		

PROJECT TEAM

OWNER

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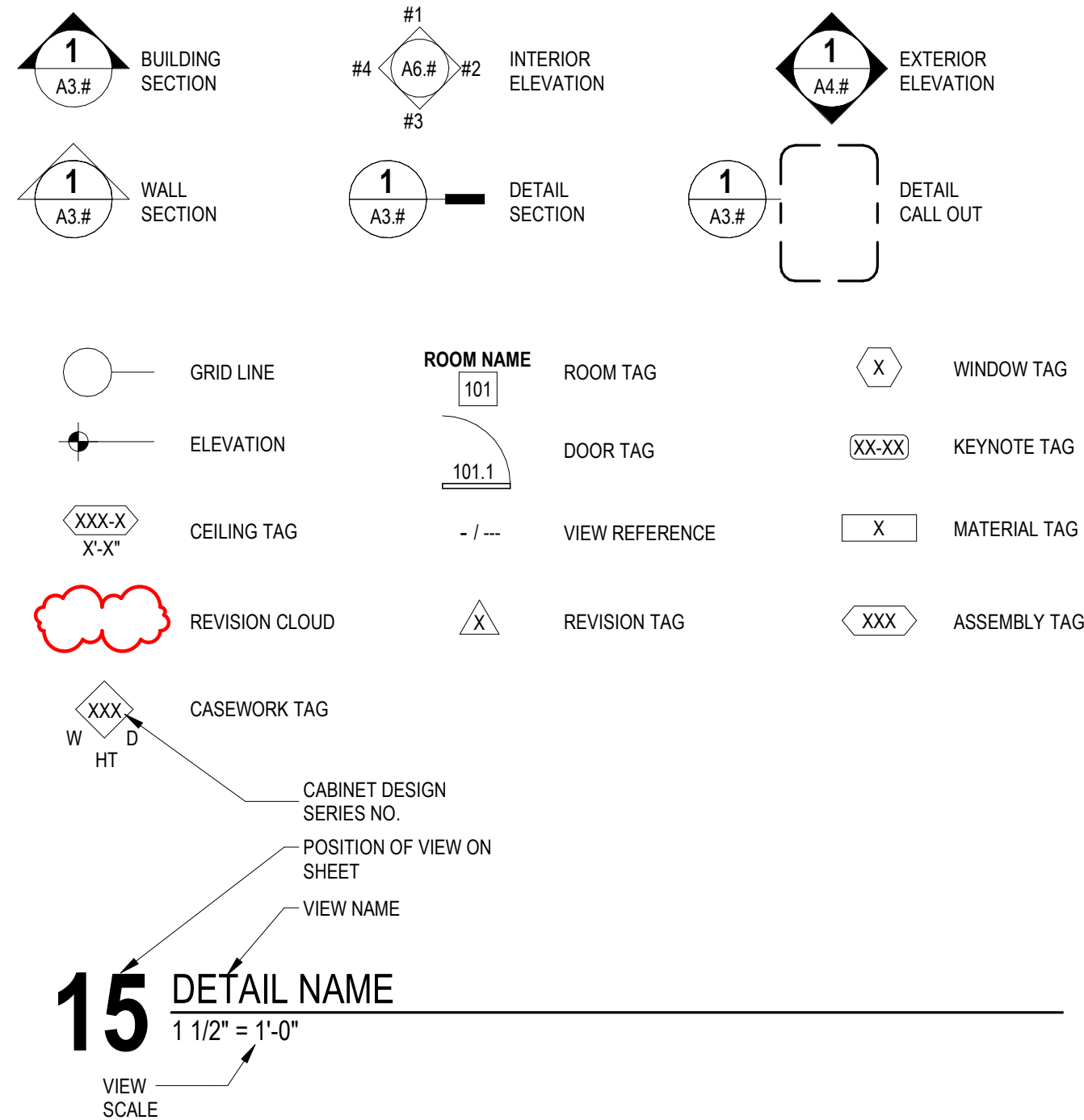
ARCHITECT

A&E ARCHITECTS
515 W. ASPEN ST. SUITE 200A
BOZEMAN, MT 59715
406.453.7310

CONTRACTOR

TBD

EXPLANATION OF SYMBOLS



TYPICAL SHEET VIEW NUMBERING LAYOUTS

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ARCH D (24"x36")

DISCLAIMER:

A&E DESIGN MAKES NO REPRESENTATION AS TO THE COMPLETENESS, APPROPRIATENESS, OR COORDINATION OF INFORMATION PROVIDED BY, AND IS NOT LIABLE FOR, THE WORK OF CONSULTANTS CONTRACTUALLY ENGAGED BY OTHERS.

ALTERNATES

BASE BID: REMOVE EXISTING DRIP EDGE FLASHING AND PROVIDE NEW FLASHING TUCKED UNDER EXISTING ROOFING AND FACE-ATTACHED THROUGH FASCIA PANEL.

ALTERNATE #1: REMOVE 3'-0" OF SHINGLES ALONG ALL ROOF EDGES TO ALLOW FOR INSTALLATION OF NEW DRIP EDGE FLASHING AND NEW UNDERLAYMENT. UNDERLAYMENT TO LAP OVER EXISTING UNDERLAYMENT, CONFIRM EXISTING IN FIELD. PROVIDE NEW SHINGLES TO MATCH EXISTING.

SUSTAINABILITY NOTES

- REPETITIVE AND/OR INTERMITTENT HIGH-LEVEL NOISE PERMITTED ONLY DURING DAYTIME. AT 50'-0" FROM THE PROJECT BOUNDARY DO NOT EXCEED 70 DB(A) FOR MORE THAN 12 MINUTES IN ANY HOUR.
- MAXIMUM AMBIENT NOISE LEVELS (DB) FOR NOISE AREA AT PROJECT BOUNDARY: DAYLIGHT HOURS 65 DB, NON-DAYLIGHT HOURS 45 DB.
- DEVELOP A WASTE MANAGEMENT PLAN ACCORDING TO ASTM E 1809. PLAN SHALL CONSIST OF WASTE IDENTIFICATION, WASTE REDUCTION WORK PLAN, AND COST/REVENUE ANALYSIS. DISTINGUISH BETWEEN CONSTRUCTION WASTES. INDICATE QUANTITIES BY WEIGHT OR VOLUME, BUT USE SAME UNITS OF MEASURE THROUGHOUT WASTE MANAGEMENT PLAN.
- DEVELOP A WASTE REDUCTION WORK PLAN. IDENTIFY NON-HAZARDOUS DEMOLITION AND CONSTRUCTION WASTE GENERATED BY THE PROJECT AND WHETHER IT WILL BE SALVAGED, RECYCLED, OR DISPOSED OF IN LANDFILL. INCLUDE QUANTITY OF EACH TYPE OF WASTE, QUANTITY FOR EACH MEANS OF RECOVERY, AND HANDLING AND TRANSPORTATION PROCEDURES.
- RECYCLED MATERIALS: DIVERT. AT A MINIMUM, 50% OF RESULTING WASTE FROM A LANDFILL THROUGH SALVAGE AND RECYCLING. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH, AND DEBRIS.
- DEVELOP A CONSTRUCTION IAQ MANAGEMENT PLAN. AT A MINIMUM, SCHEDULE OF INSTALLATION OF INTERIOR FINISHES, IDENTIFY SOURCES OF ODOR AND DUST. NOTE CONSTRUCTION VENTILATION PROVIDED INCLUDING USE OF PERMANENT HVAC SYSTEMS, TYPES OF FILTRATION AND SCHEDULE FOR REPLACEMENT OF FILTERS, CLEANING AND DUST CONTROL PROCEDURES, PRODUCTS REQUIRING MOISTURE PROTECTION, AND SCHEDULE FOR INSPECTION OF STORED MATERIALS.
- DEVELOP A TEMPORARY SEDIMENTATION CONTROL PLAN. INDICATE DEVICES, MEASURES, AND LOCATIONS FOR SEDIMENT CONTROL DEVICES. DESCRIBE CONSTRUCTION ACTIVITIES EFFECTING EROSION, DESCRIBE MONITORING AND MEASURES FOR SEDIMENT CONTROL, DESCRIBE MITIGATION AND RESPONSE TO FAILED EROSION CONTROL MEASURES.
- LOW EMITTING MATERIALS. PAINTS, COATINGS, ADHESIVES AND SEALANTS FOR FIELD APPLICATIONS INSIDE THE WEATHER PROOFING SYSTEM SHALL COMPLY WITH VOC CONTENT LIMITS OF AUTHORITIES HAVING JURISDICTIONS OR SCAQMD RULE 1168, WHICHEVER IS STRICTER.
- NO SMOKING. SMOKING, VAPING, AND SMOKELESS TOBACCO USE IS NOT PERMITTED WITHIN THE BUILDING, OR WITHIN 25'-0" OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR AIR INTAKES.
- CAST-IN-PLACE CONCRETE. PROVIDE STEEL REINFORCING MATERIALS WITH MINIMUM 25% RECYCLED CONTENT. PROVIDE AGGREGATE AND CEMENT EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- UNIT MASONRY. PROVIDE BRICK, BLOCK, AGGREGATE, CEMENT, MORTAR, AND LIME EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- STRUCTURAL STEEL. STEEL DECKING, FORMED METAL FRAMING, METAL TOILET COMPARTMENTS, AND FORMED METAL WALL AND ROOF PANELS. PROVIDE MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 25%.
- ALL COMPOSITE WOOD PRODUCTS SHALL BE MANUFACTURED WITHOUT ADDED UREA FORMALDEHYDE.
- ALUMINUM ENTRANCE AND WINDOW SYSTEMS. PROVIDE ALUMINUM MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 50%.
- PROVIDE GYPSUM BOARD WALL PANELS MANUFACTURED WITHIN 500 MILES OF THE PROJECT SITE.
- RESILIENT HARD SURFACE FLOORING MATERIALS AND THEIR ADHESIVES SHALL BE FLOORSORE CERTIFIED.
- PLUMBING FIXTURES SHALL BE WATERSENSE CERTIFIED.

ARCHITECTURAL DRAWINGS

SHEET NO.	SHEET NAME
G0.0	COVER SHEET
G0.1	GENERAL INFORMATION
D2.1	LEVEL 1 DEMOLITION PLAN
D2.2	ROOF DEMOLITION PLAN
A1.1	SITE PLAN
A2.1	LEVEL 1 FLOOR PLAN
A4.1	EXTERIOR ELEVATIONS
A9.1	SCHEDULES
A9.2	DETAILS
A4.2	EXTERIOR ELEVATIONS
A2.2	ROOF PLAN



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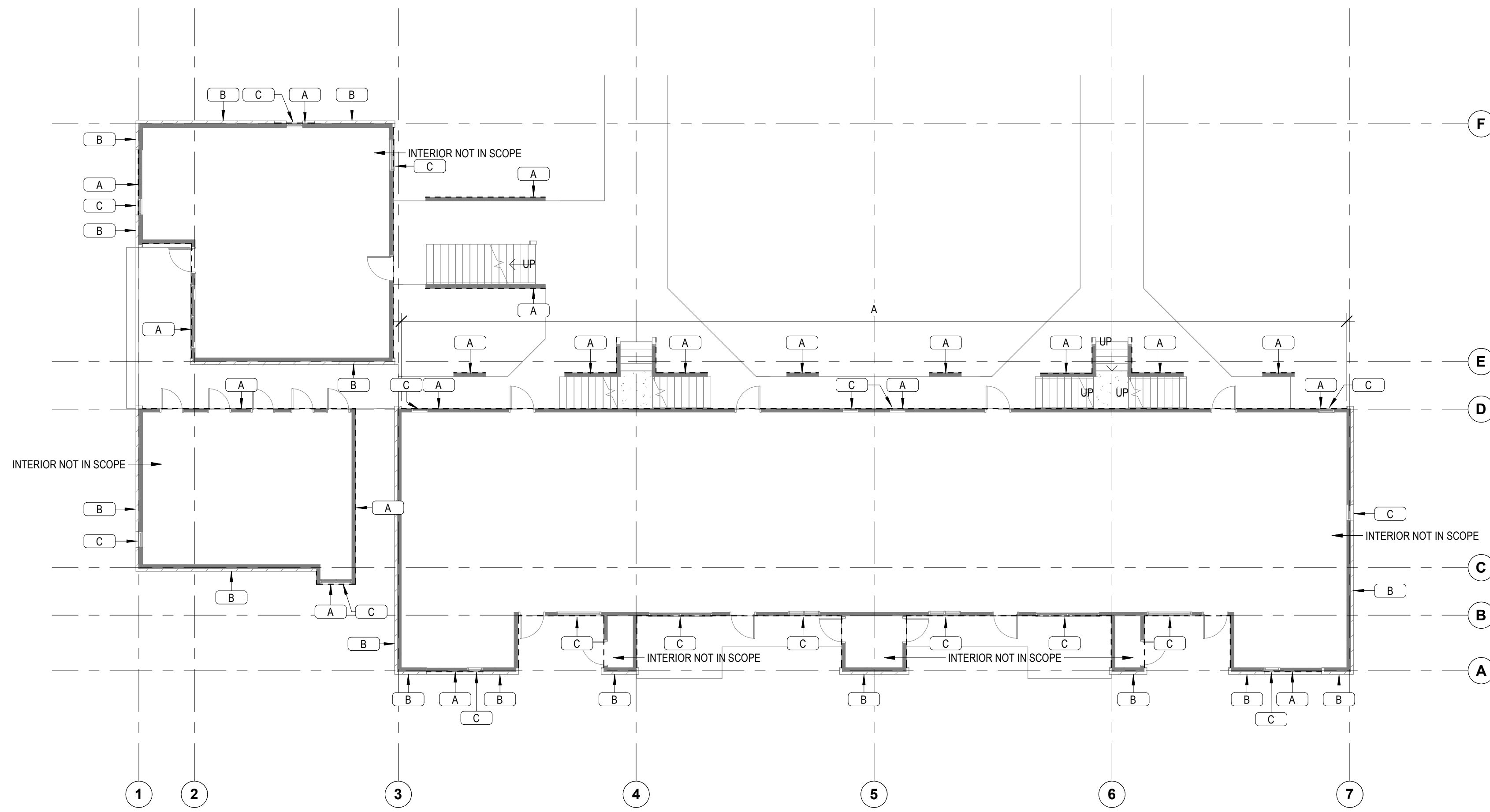
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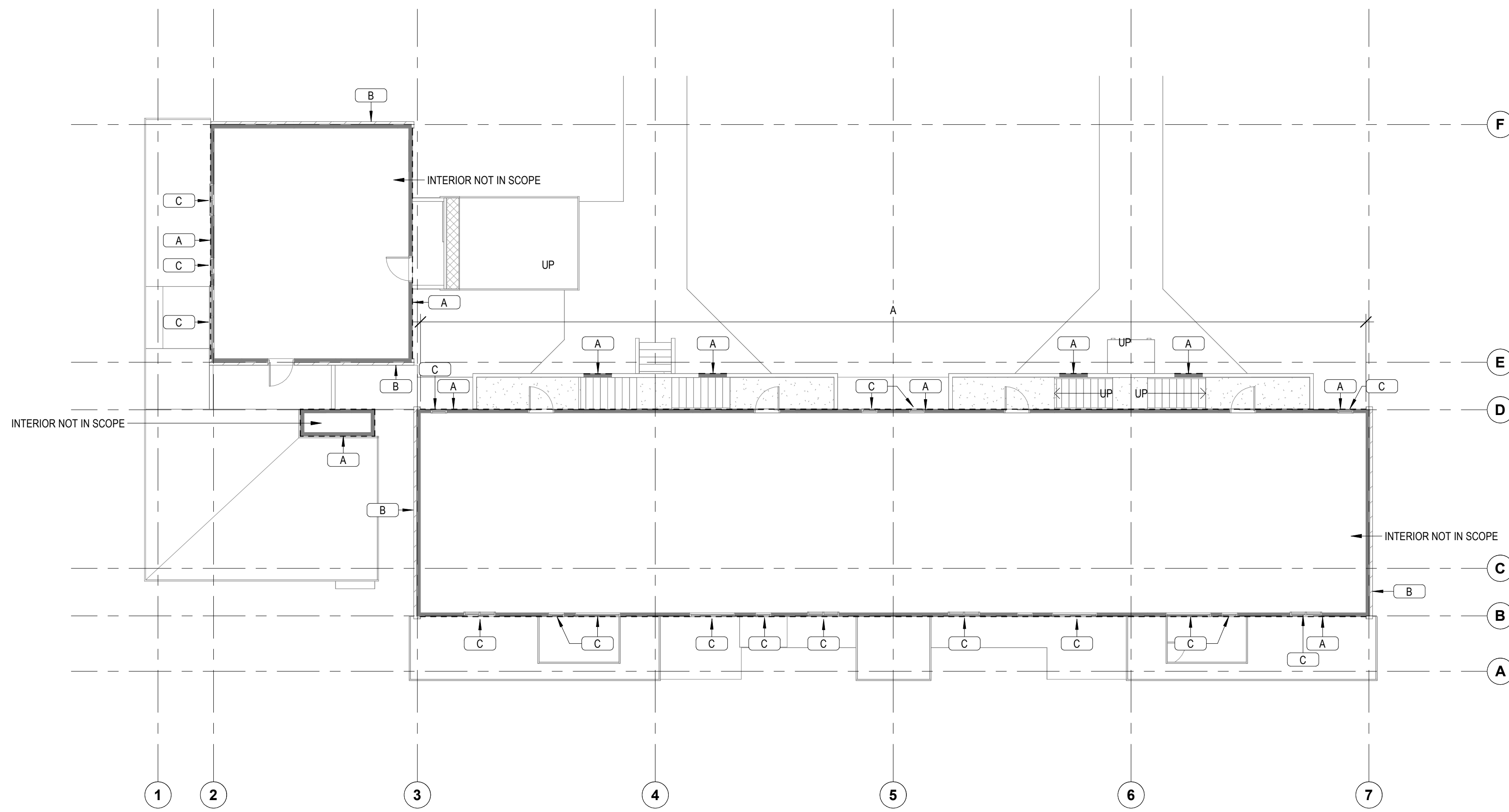
SHEET TITLE
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SHEET
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5 LEVEL 1 DEMO
3/32" = 1'-0"



13 LEVEL 2 DEMO
3/32" = 1'-0"

GENERAL NOTES

- 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORRED VERSIONS OF TYPICAL BUILDING.
- GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED THROUGHOUT

KEYNOTES

- A** REMOVE EXISTING SIDING DOWN TO EXTERIOR SHEATHING, INCLUDING ALL TRIM PIECES, SOFFIT BOARDS, FLASHING, AND ANY EXISTING BUILDING WRAP.
- B** PROTECT EXISTING BRICK TO REMAIN.
- C** REMOVE EXISTING WINDOWS, INCLUDING FLASHING AS REQUIRED FOR INSTALLATION OF NEW WINDOWS.

DEMOLITION LEGEND

- HATCH INDICATES AREA NOT IN SCOPE OF WORK
- INDICATES BUILT ITEM TO BE REMOVED
- INDICATES LIGHT FIXTURE TO BE REMOVED

DEMOLITION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK.
- THE DEMOLITION NOTES PROVIDE A GENERAL DESCRIPTION OF THE ITEMS AND AREAS REQUIRING REMOVAL. THE CONTRACTOR SHALL FIELD VERIFY ACTUAL QUANTITIES AND LOCATIONS OF ALL INDICATED ITEMS AS NECESSARY TO COMPLETE THE SCOPE OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER FOR ANY EQUIPMENT TO BE SALVAGED. UNLESS SPECIFICALLY SCHEDULED FOR REUSE, DEMOLISHED MATERIALS SHALL BECOME THE POSSESSION OF THE CONTRACTOR AND SHALL BE IMMEDIATELY REMOVED FROM THE SITE.
- REMOVE MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER AT NO ADDITIONAL EXPENSE TO OWNER.
- DEBRIS FROM THE DEMOLITION SHALL NOT BE ALLOWED TO ACCUMULATE WITHIN THE BUILDING OR ON THE SITE.
- REMOVE FROM SITE ANY CONTAMINATED, VERMIN INFESTED, OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS SO AS NOT TO ENDANGER HEALTH OF WORKERS AND PUBLIC.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- CLEAN-UP: MUST MEET GOVERNING DUST CONTROL CODES.
- NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.
- CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO ANY ADJACENT OCCUPIED BUILDING OR SITE AS POSSIBLE AND WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES. MAINTAIN PROTECTED EGRESS AND ACCESS AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE TEMPORARY DUST AND CONSTRUCTION SEPARATION WALLS AS REQUIRED TO SHIELD THE PUBLIC FROM NOISE, DUST, WEATHER, AND OTHER HAZARDS THAT MAY BE EXPOSED AS A RESULT OF THE DEMOLITION WORK.
- PERFORM CUTTING OF EXISTING CONCRETE AND MASONRY WITH SAWS AND CORE DRILLS. DO NOT USE JACK-HAMMERS EXCEPT WHERE PERMITTED BY OWNER.
- BREAK CONCRETE AND MASONRY INTO SECTIONS LESS THAN 3 FEET IN ANY DIMENSION.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE EXISTING STRUCTURAL ELEMENTS REMAIN UNDAMAGED THROUGHOUT CONSTRUCTION, UNLESS SPECIFICALLY NOTED ON DEMOLITION PLAN. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AND PROVIDE ANY SHORING, BRACING, OR TEMPORARY STRUCTURE, AND TO COORDINATE WITH STRUCTURAL ENGINEER AS REQUIRED.
- ALL PUBLIC UTILITIES TO REMAIN IN OPERATION THROUGHOUT CONSTRUCTION. CONTRACTOR TO COORDINATE ANY TEMPORARY SERVICES REQUIRED TO MAINTAIN BUSINESS OPERATIONS.
- SEE ENGINEERING DRAWINGS FOR DUCTWORK, DIFFUSER, PLENUM BOX, ETC. DEMOLITION AND/OR PROTECTION. COORDINATE WITH MECHANICAL ENGINEER.
- FIRE SAFETY MUST BE MAINTAINED FOR ALL PERSONNEL WORKING ON THE FLOOR. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC. MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THIS EQUIPMENT. IMMEDIATELY NOTIFY BUILDING SECURITY AND BUILDING MANAGER OF DAMAGED OR DISABLED SYSTEMS AND REPAIR OR REPLACE DAMAGED SYSTEMS IMMEDIATELY. RELOCATION OF SMOKE DETECTORS, PUBLIC ADDRESS SPEAKERS AND FIRE ALARM EQUIPMENT, NECESSITATED BY NEW CONSTRUCTION, SHALL BE ACCOMPLISHED AS A FIRST PRIORITY, AND PER THE PLANS.
- IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE OWNER BEFORE PROCEEDING. IMMEDIATELY STOP WORK IF HAZARDOUS MATERIALS ARE FOUND AND CONTACT THE OWNER'S REPRESENTATIVE.
- REMOVAL OF ANY EQUIPMENT, CABLING SWITCHES, AND CONDUIT PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED WITH TELEPHONE COMPANIES. SERVICE OWNER OR TENANT DATA/COMMUNICATIONS REPRESENTATIVE AS REQUIRED TO PREVENT NEW CONSTRUCTION DELAYS.
- PROVIDE FOR FIRE PROOFING REPAIR AS REQUIRED AT STRUCTURAL STEEL. TO THE ORIGINAL RATING WHERE CONSTRUCTION TRADES REMOVE EXISTING FIRE PROOFING. REPAIR ANY DAMAGE OR PENETRATIONS IN RATED ASSEMBLIES TO CONFORM TO THEIR ORIGINAL LISTING REQUIREMENTS AND TO MAINTAIN FIRE PROTECTION AND SEPARATION AS ORIGINALLY DESIGNED.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- FOR AREAS NOT IN DEMOLITION SCOPE OF WORK, PROTECT AS REQUIRED. ALL SURFACES, EQUIPMENT, FIXTURES AND HARDWARE DURING DEMOLITION AND/OR CONSTRUCTION.
- PRIOR TO DEMOLITION, INVESTIGATE WALLS FOR CONCEALED PIPING AND INFORM OWNERS/ARCHITECT OF ANY CONDITION NOT DOCUMENTED IN CONTRACT DRAWINGS. DEMO DESIGNATED WALL BASES, WALL FRAMING, BATT INSULATION AND GYPSUM BOARD. DEMO CONDUITS AND RECEPTACLES. REFERENCE ELECTRICAL DEMO PLAN FOR ADDITIONAL INFORMATION.
- ALL EXISTING DIRECTIONAL SIGNAGE TO BE REMOVED UNLESS NOTED OTHERWISE.
- WHERE NOTED, REMOVE FLOORING DOWN TO TOP OF CONC. SLAB, INCLUDING ADHESIVES, TRANSITION STRIPS, AND OTHER ASSOCIATED ELEMENTS, TYP. UNLESS NOTED OTHERWISE. PREPARE REMAINING SURFACES TO RECEIVE NEW FINISHES.



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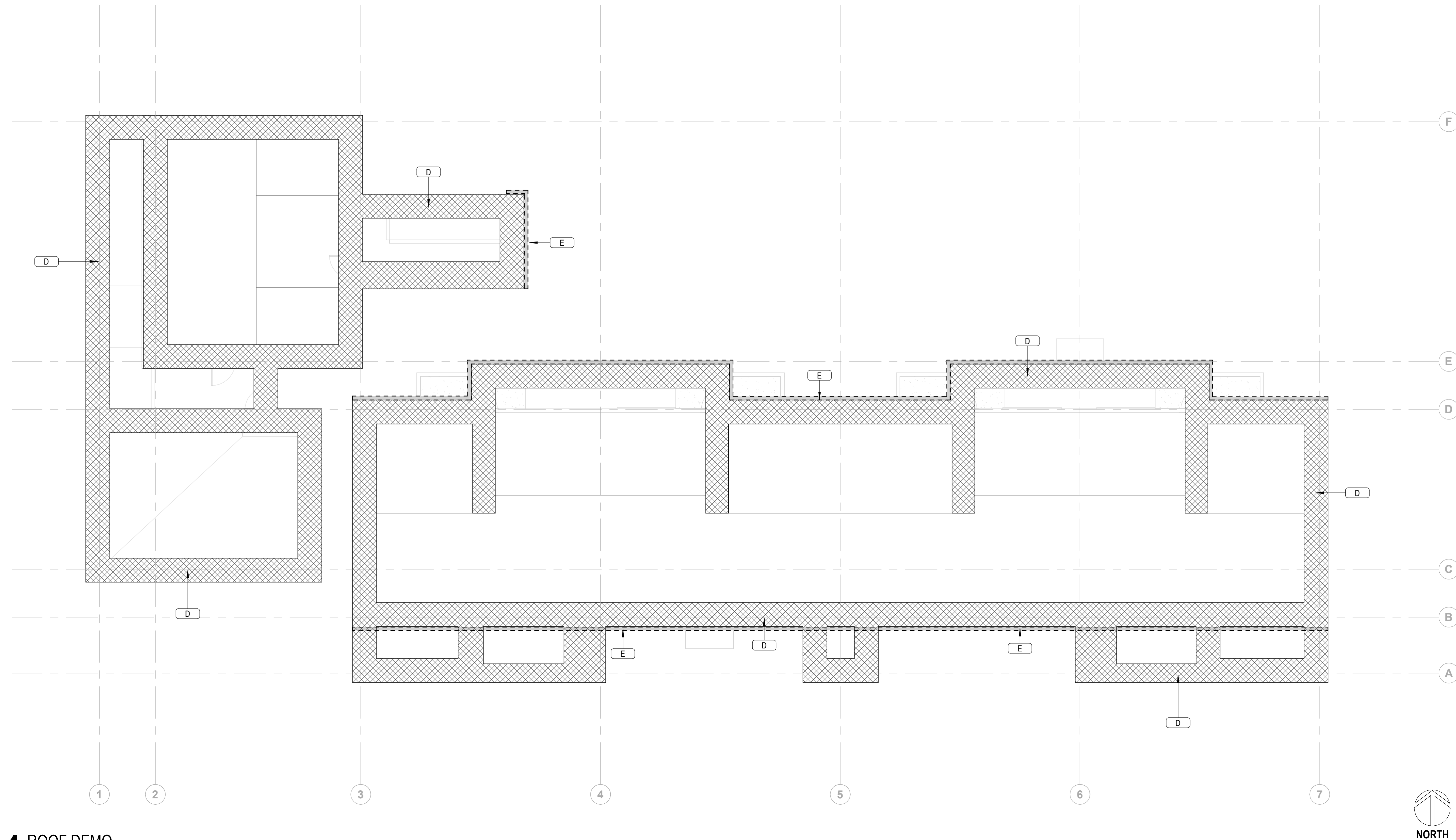
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PPA #:	21-0143
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SHEET TITLE
LEVEL 1
DEMOLITION
PLAN
D2.1

DATE
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1 ROOF DEMO
1/8" = 1'-0"

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KEYNOTES

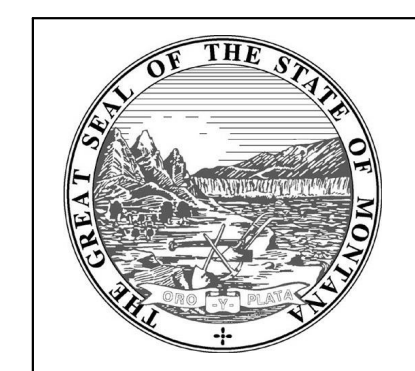
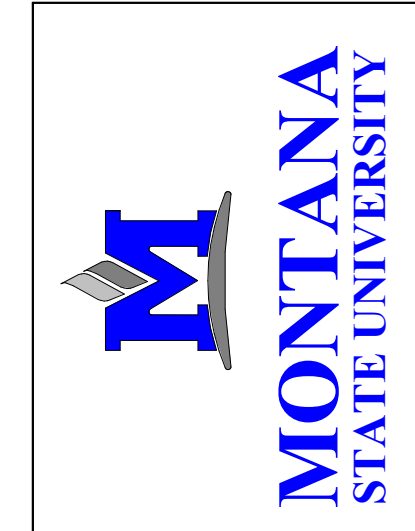
- D** ALTERNATE #1: REMOVE AND LEGALLY DISPOSE OF 3'-0" OF SHINGLES AT ALL ROOF EDGES FOR INSTALLATION OF NEW DRIP EDGE FLASHING.
- E** REMOVE AND LEGALLY DISPOSE OF ALL GUTTERS AND FASTENERS

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- PROVIDE FOR FIRE PROOFING REPAIR AS REQUIRED AT STRUCTURAL STEEL. TO THE ORIGINAL RATING WHERE CONSTRUCTION TRADES REMOVE EXISTING FIRE PROOFING. REPAIR ANY DAMAGE OR PENETRATIONS IN RATED ASSEMBLIES TO CONFORM TO THEIR ORIGINAL LISTING REQUIREMENTS AND TO MAINTAIN FIRE PROTECTION AND SEPARATION AS ORIGINALLY DESIGNED.
- AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. REFINISH TO MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.
- FOR AREAS NOT IN DEMOLITION SCOPE OF WORK, PROTECT AS REQUIRED. ALL SURFACES, EQUIPMENT, FIXTURES AND HARDWARE DURING DEMOLITION AND/OR CONSTRUCTION.
- PRIOR TO DEMOLITION, INVESTIGATE WALLS FOR CONCEALED PIPING AND INFORM OWNER/ARCHITECT OF ANY CONDITION NOT DOCUMENTED IN CONTRACT DRAWINGS. DEMO DESIGNATED WALL BASES, WALL FRAMING, BATT INSULATION AND GYPSUM BOARD. DEMO CONDUITS AND RECEPTACLES. REFERENCE ELECTRICAL DEMO PLAN FOR ADDITIONAL INFORMATION.
- ALL EXISTING DIRECTIONAL SIGNAGE TO BE REMOVED UNLESS NOTED OTHERWISE.
- WHERE NOTED, REMOVE FLOORING DOWN TO TOP OF CONC. SLAB, INCLUDING ADHESIVES, TRANSITION STRIPS, AND OTHER ASSOCIATED ELEMENTS, TYP. UNLESS NOTED OTHERWISE. PREPARE REMAINING SURFACES TO RECEIVE NEW FINISHES.

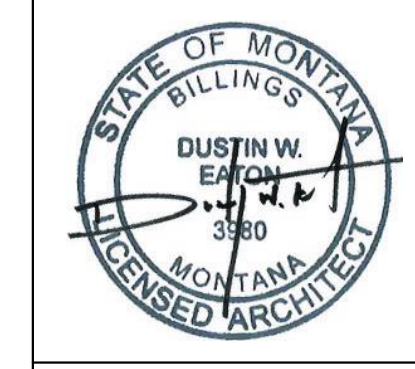


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PPA #:	21-0143
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A&E PROJ #:	23123.00

SHEET TITLE
ROOF DEMOLITION PLAN
D2.2
DATE
03/29/24



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PPA #: 21-0143

A/E #: 21-0143

A&E PROJ #: 23123.00

SHEET TITLE
SITE PLAN

SHEET
A1.1

DATE
03/29/24

GENERAL NOTES

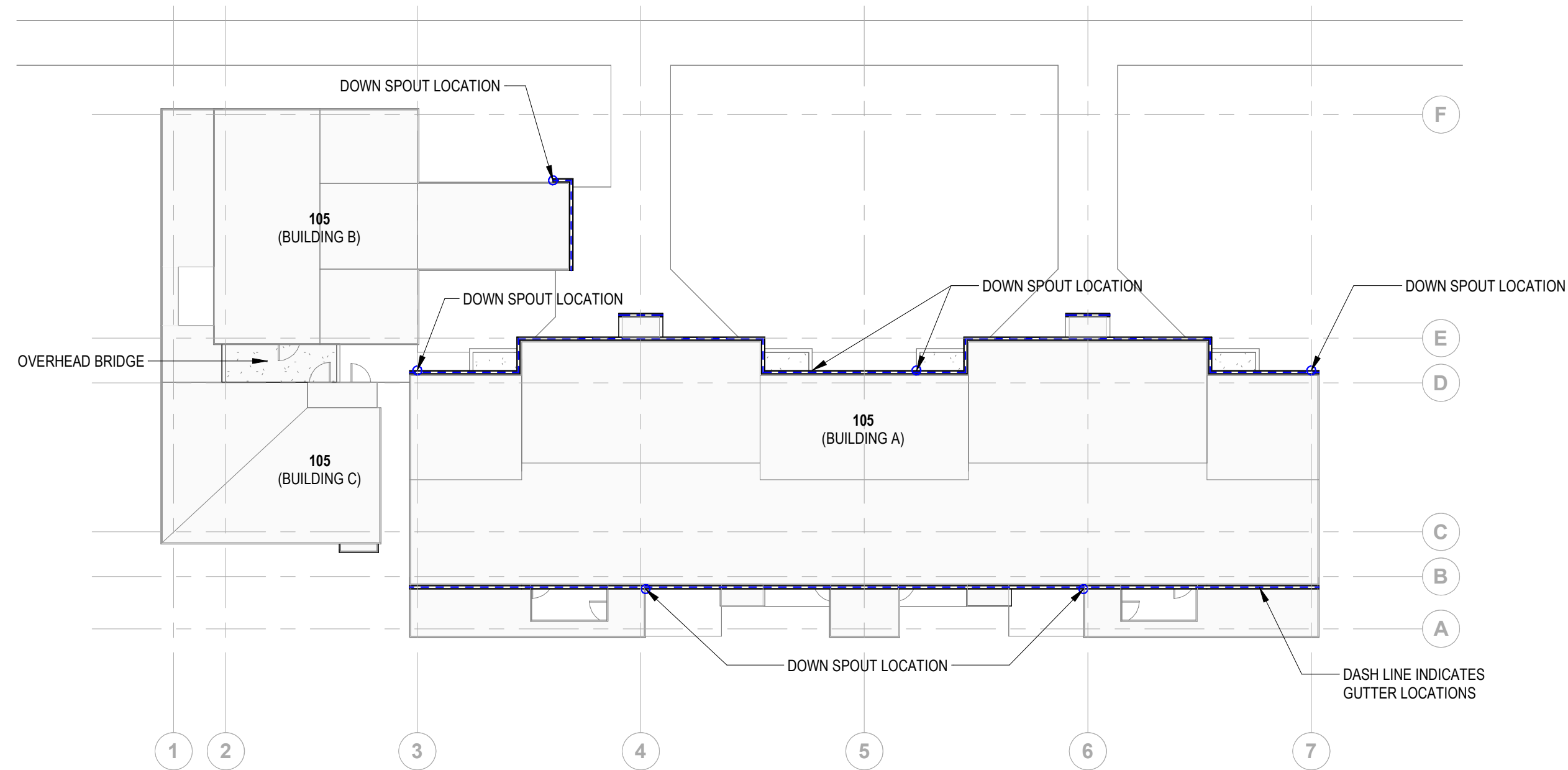
- 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

SITE PLAN LEGEND

- GUTTER LOCATIONS
- DOWNSPOUT LOCATION

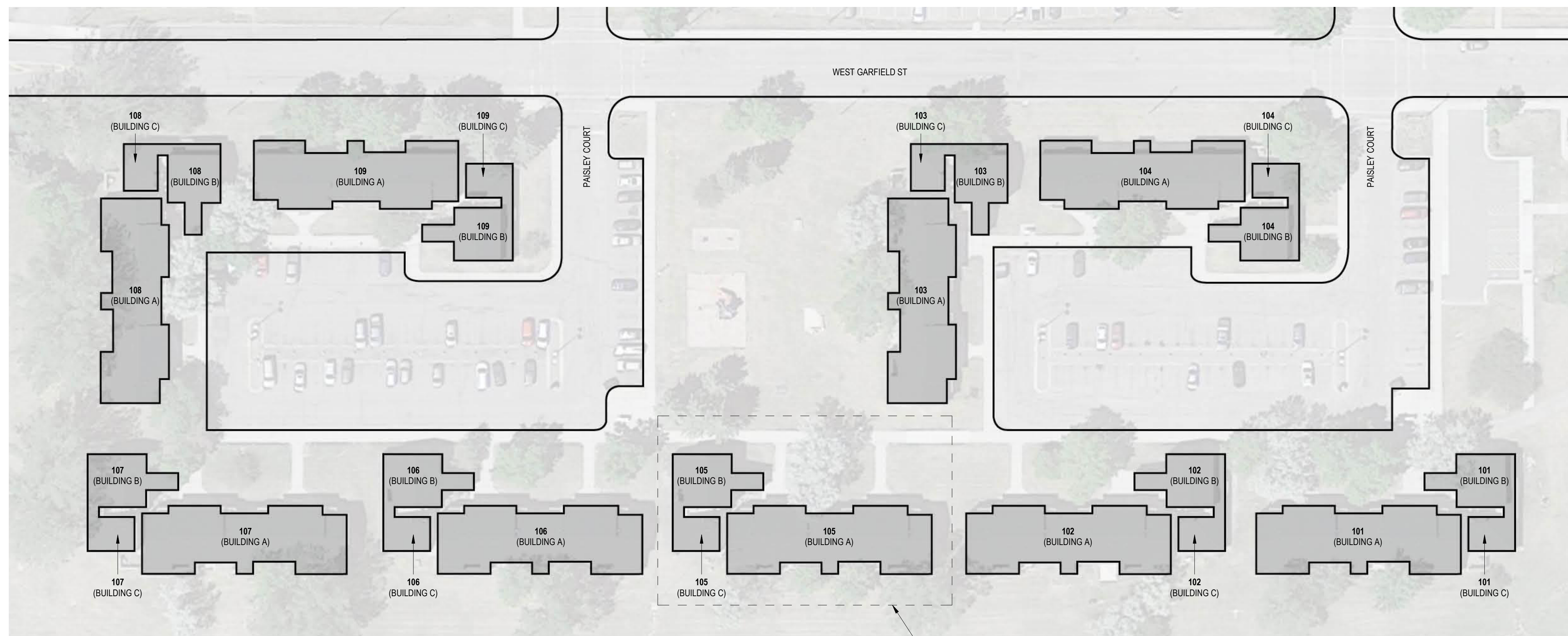
SITE PLAN NOTES

- REFER TO ALL DRAWINGS FOR ADDITIONAL INFORMATION. NOTIFY ARCHITECT OF ANY CONFLICT PRIOR TO COMMENCING WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SITE WORK.
- REFERENCE LANDSCAPE DRAWINGS FOR LANDSCAPE REQUIREMENTS, LANDSCAPE AREAS, AND ADDITIONAL INFORMATION.



1 SITE PLAN (TYP)
1/16" = 1'-0"

NOTE: 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

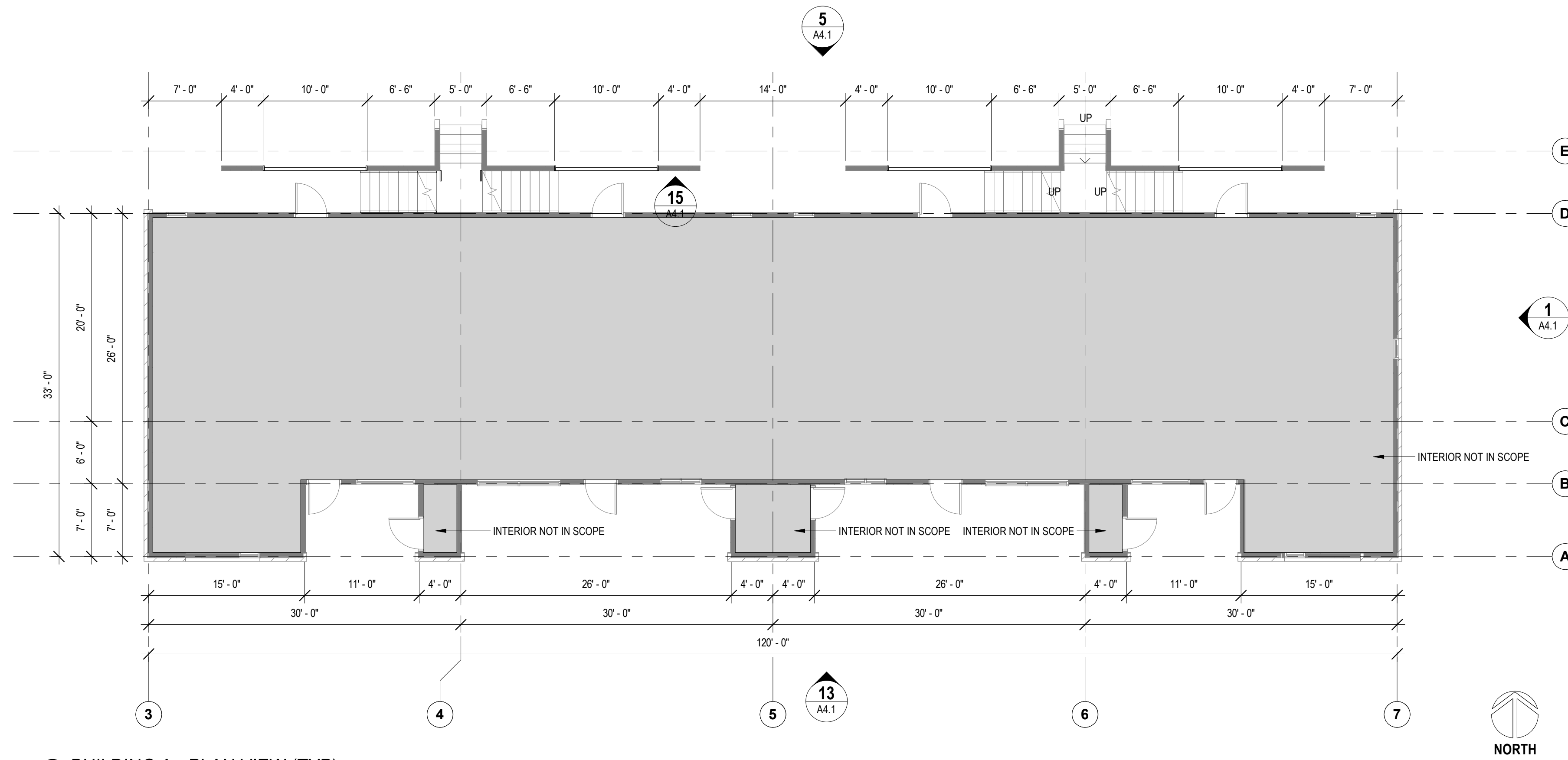


SITE PLAN (TYP)
REF: A1.1/1

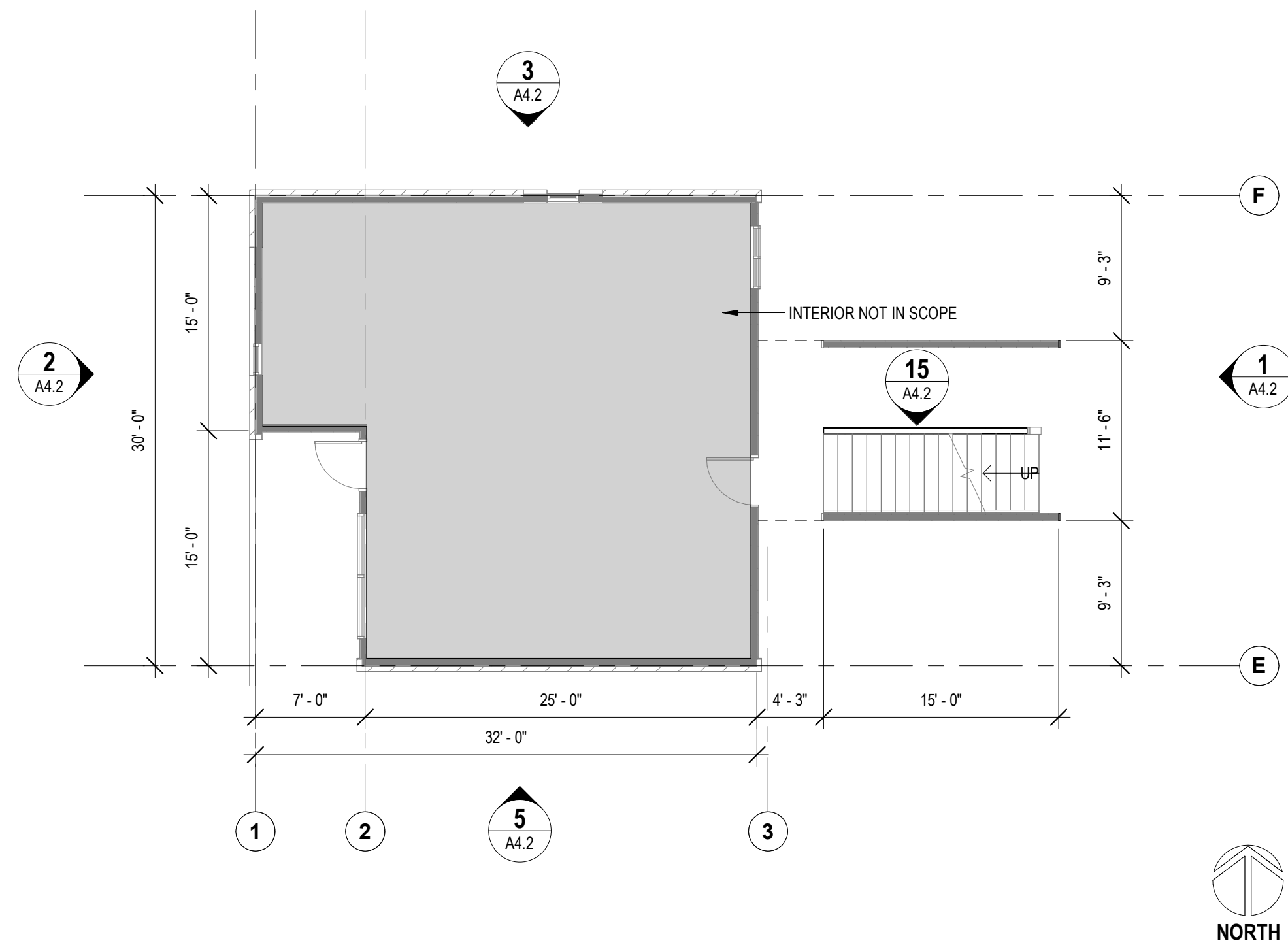
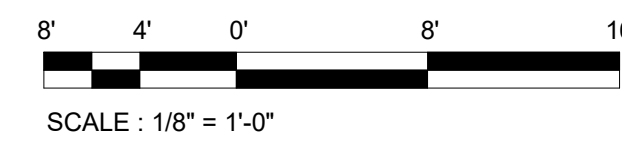
13 BUILDING LAYOUT
N.T.S.

NOTE: 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

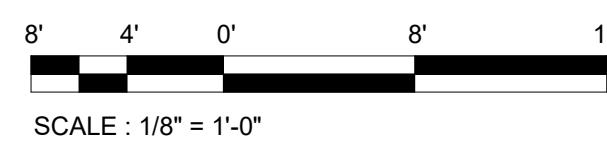




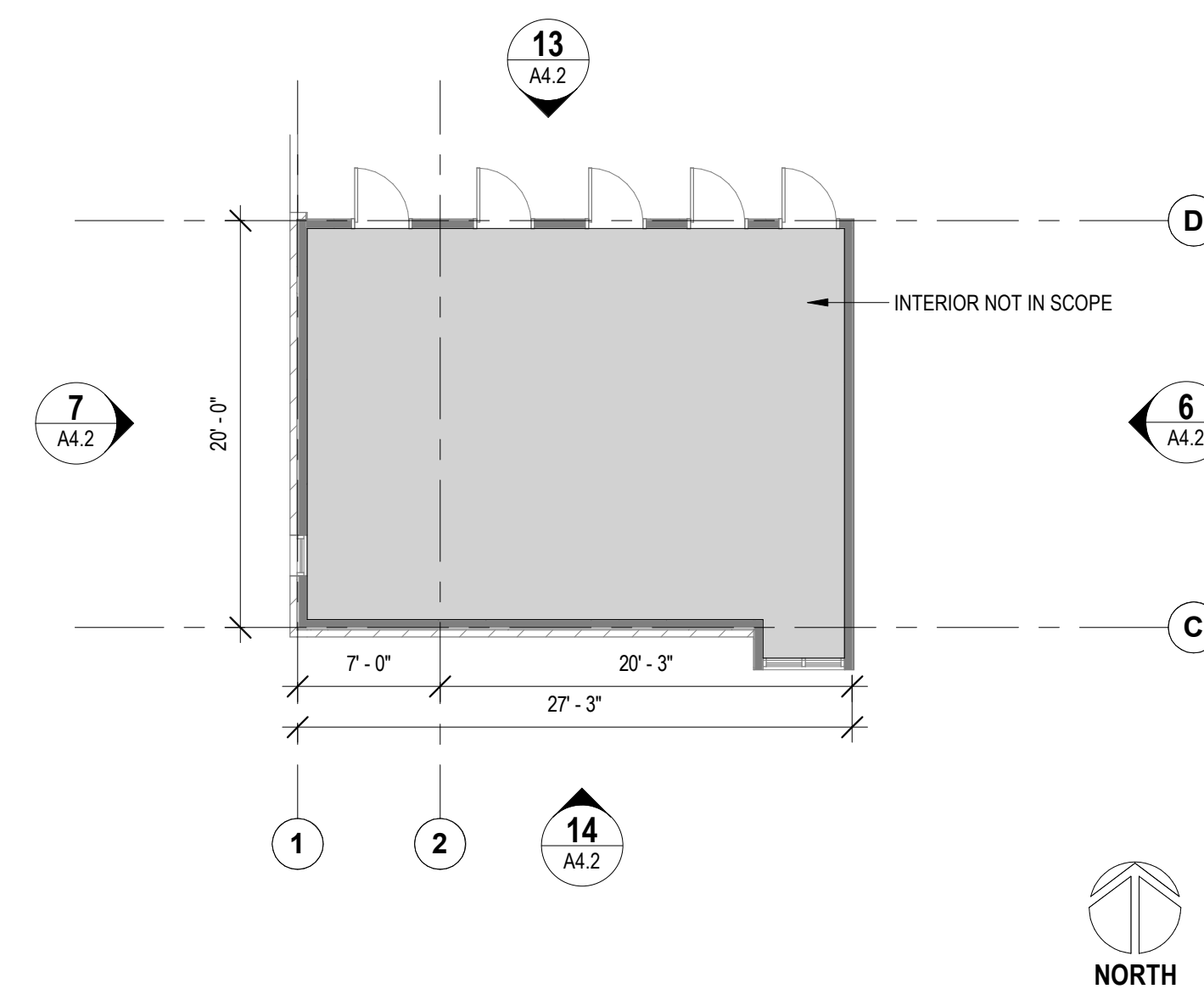
2 BUILDING A - PLAN VIEW (TYP)
1/8" = 1'-0"



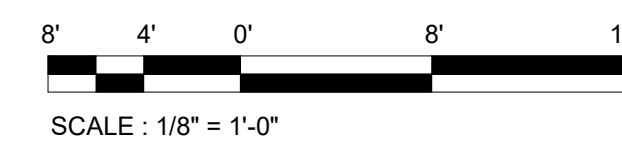
9 BUILDING B - PLAN VIEW (TYP)
1/8" = 1'-0"



NOTE: FIELD VERIFY ALL DIMENSIONS.
DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B'
ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



11 BUILDING C - PLAN VIEW (TYP)
1/8" = 1'-0"



GENERAL NOTES

- 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

KEYNOTES

FLOOR PLAN NOTES

1. THE CONTRACTOR SHALL NOT CONSIDER CONSTRUCTION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL CONSTRUCTION DRAWINGS AND NOTES WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING NOTES AND DRAWINGS AND PROJECT MANUAL.
2. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
3. ALL FINISHES AND MATERIALS SHALL BE PROPERLY INTEGRATED TO ENSURE A UNIFORM APPEARANCE AND SEAMLESS TRANSITION.
4. ALL DIMENSIONS ARE FROM STRUCTURAL OR UNFINISHED FACE OF STUD, UNLESS OTHERWISE NOTED.
5. PATCH AND REPAIR ANY / ALL WALL SURFACES AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR FINISHES.



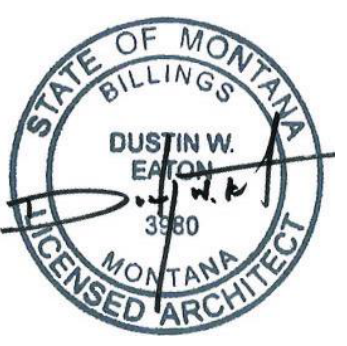
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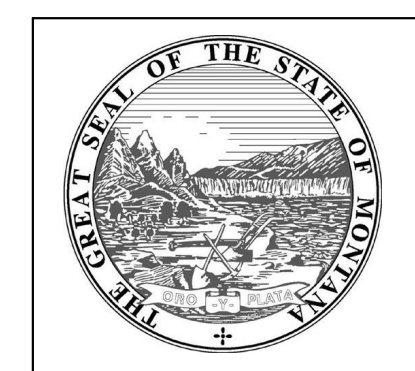
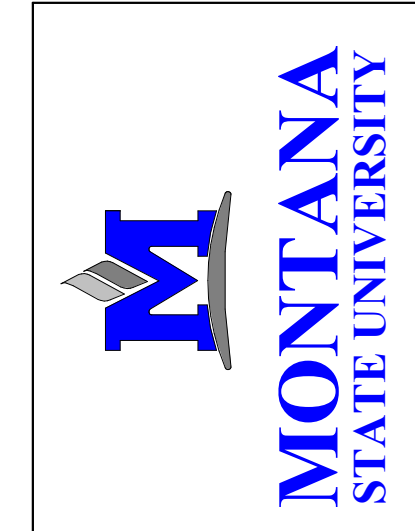
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SHEET TITLE
LEVEL 1 FLOOR PLAN
SHEET
A2.1

DATE
03/29/24

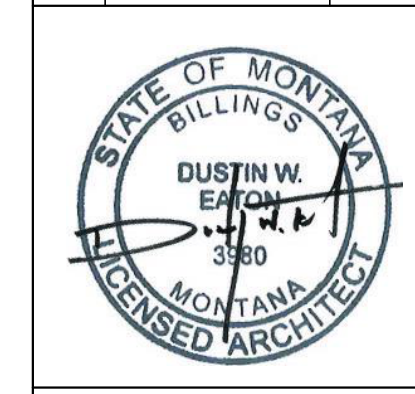


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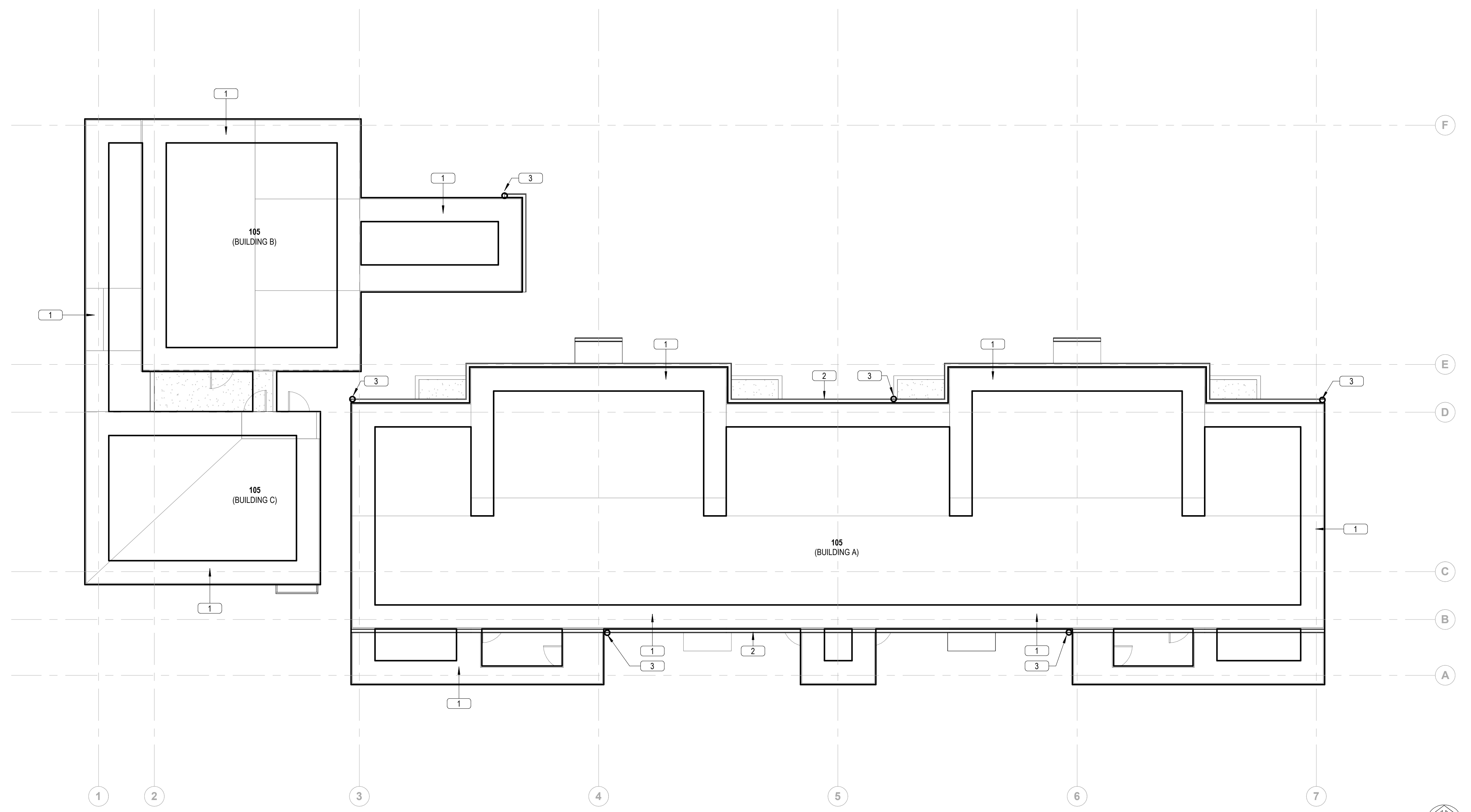
SHEET TITLE
 ROOF PLAN

SHEET
A2.2

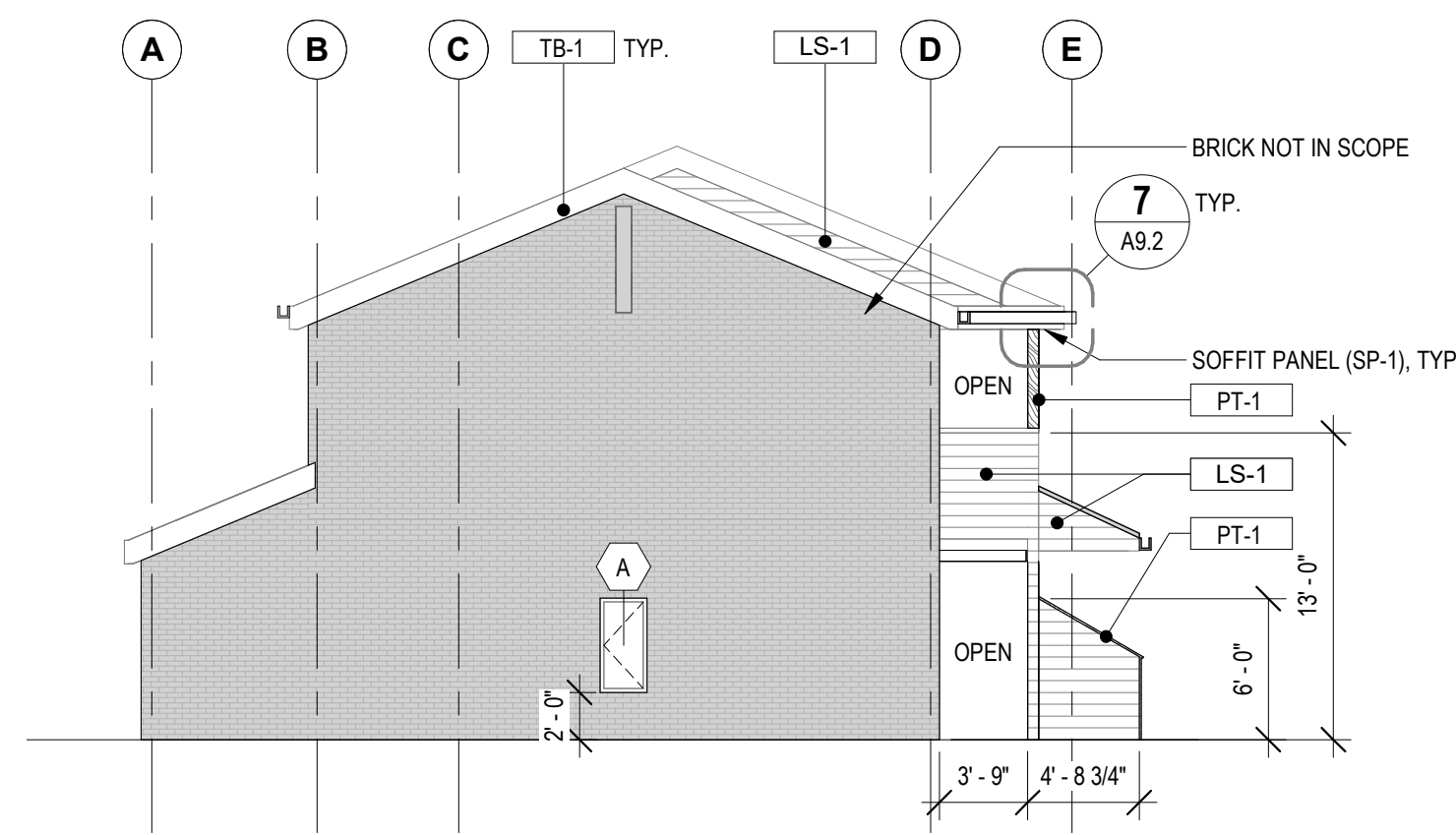
DATE
03/29/24

KEYNOTES

- 1 ALTERNATE #1: PROVIDE NEW UNDERLAYMENT LAPPED OVER EXISTING AND NEW SHINGLES TO MATCH EXISTING.
- 2 PROVIDE AND INSTALL NEW GUTTER.
- 3 PROVIDE AND INSTALL NEW DOWNSPOUT AT THIS LOCATION.

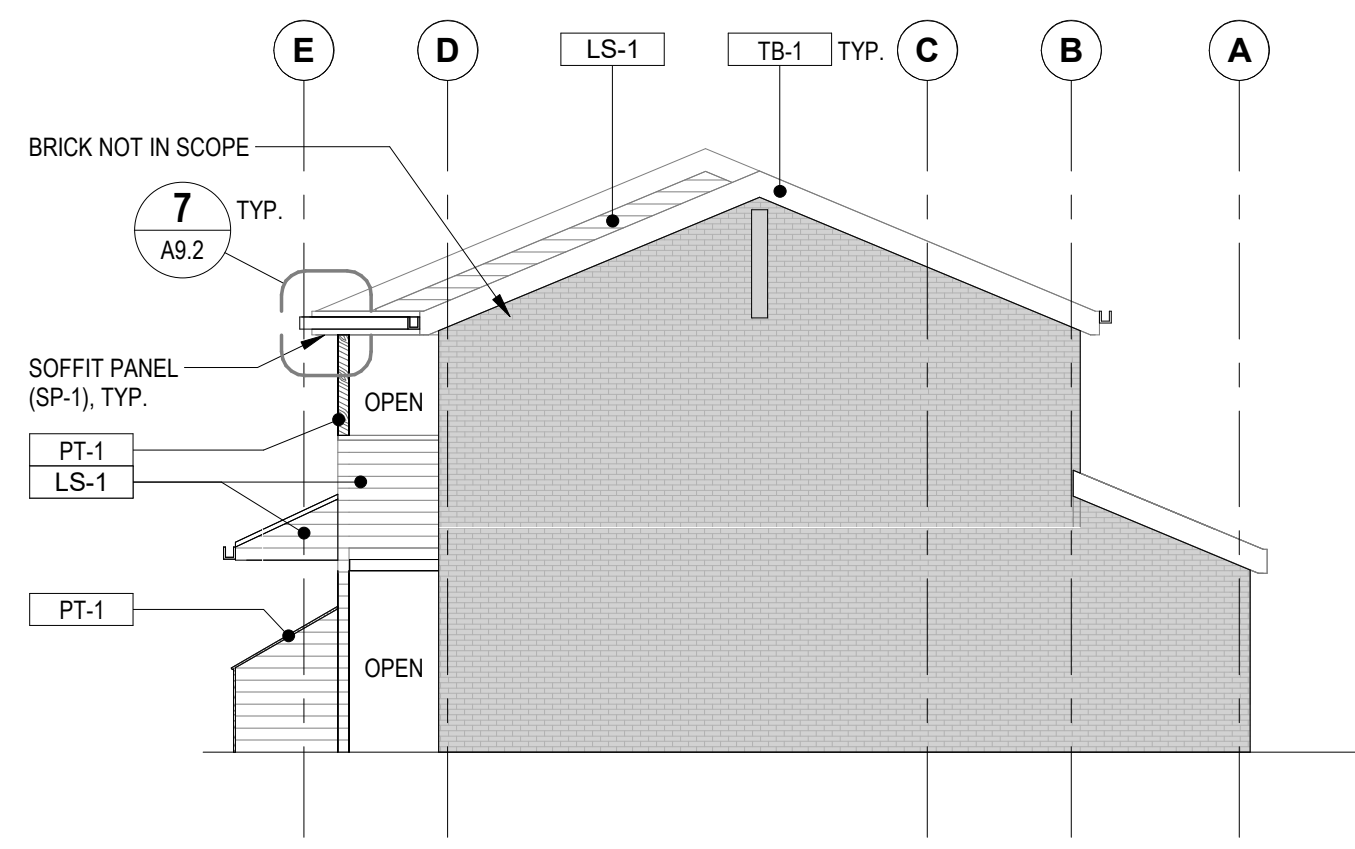


1 ROOF
 1/8" = 1'-0"



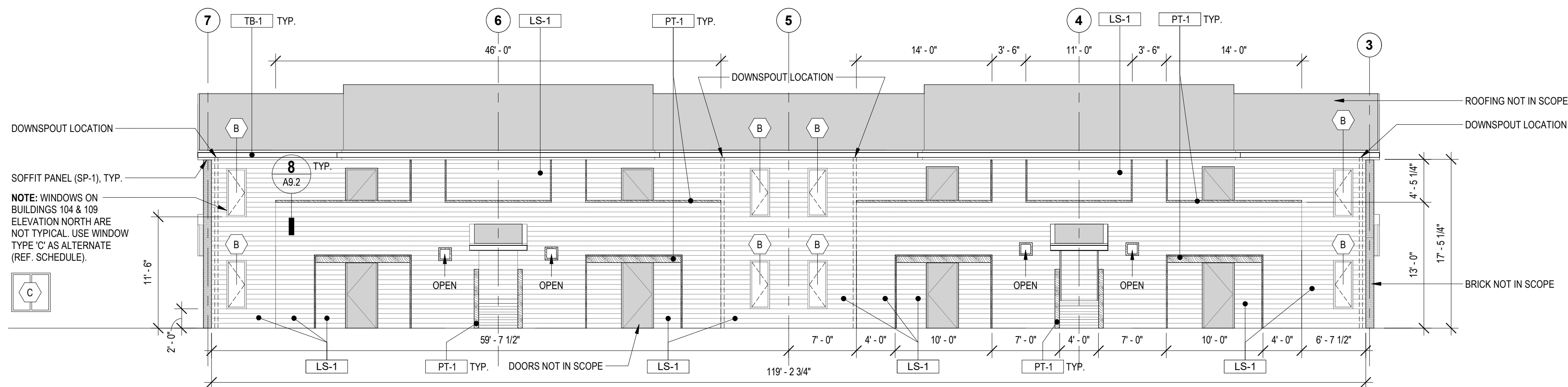
1 BUILDING A - ELEVATION EAST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS.
DO NOT SCALE DRAWINGS.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS



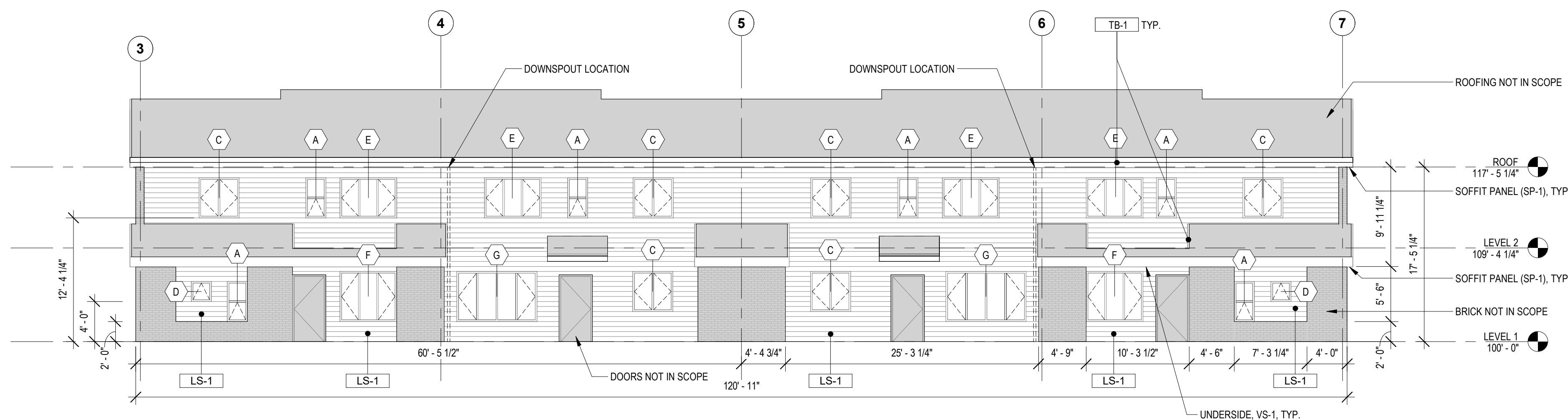
3 BUILDING A - ELEVATION WEST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS.
DO NOT SCALE DRAWINGS.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS



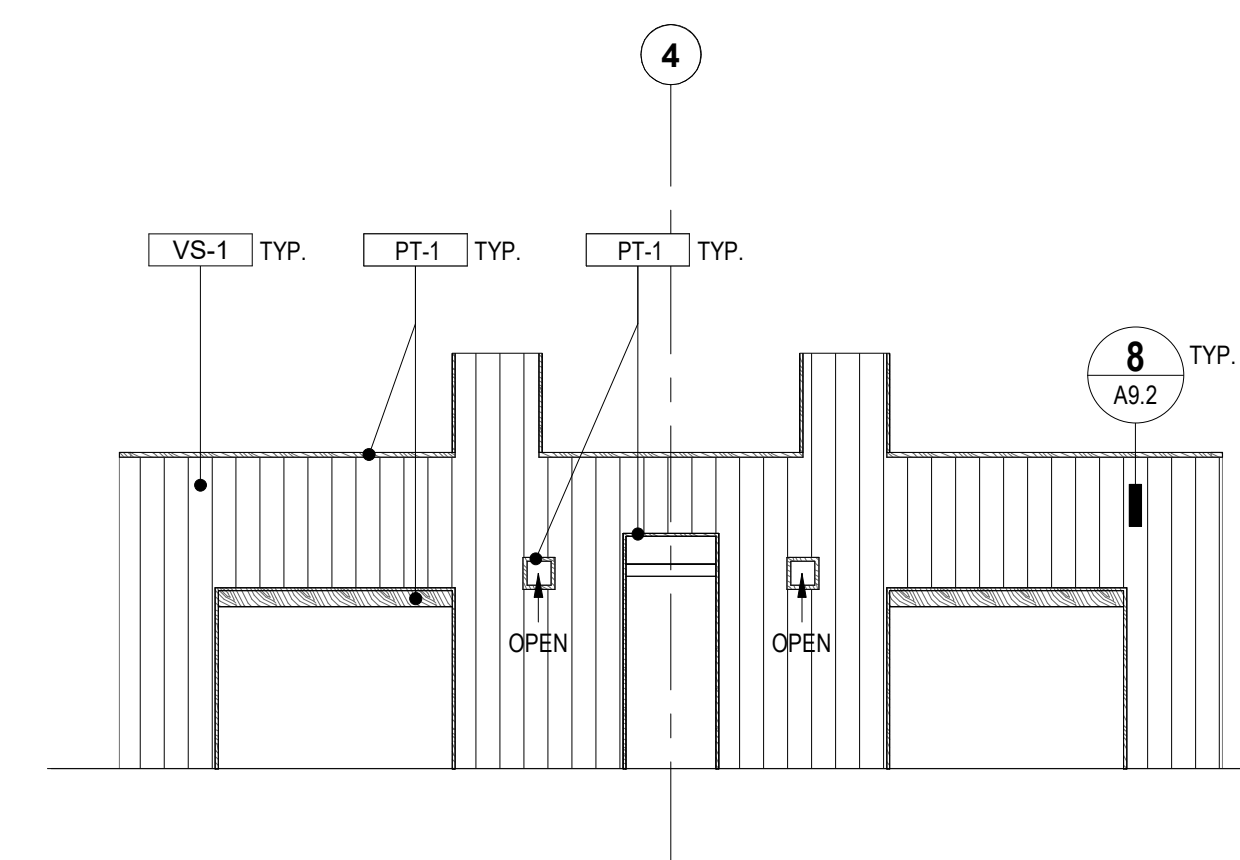
5 BUILDING A - ELEVATION NORTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS.
DO NOT SCALE DRAWINGS.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS








13 BUILDING A - ELEVATION SOUTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS.
DO NOT SCALE DRAWINGS.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS



15 BUILDING A - ELEVATION BACKSIDE ENTRY WALL (TYP)
1/8" = 1'-0"

MATERIAL LEGEND

-  **HARDIE PLANK LAP SIDING**
TEXTURE: SELECT CEDARMILL
COLOR: WEATHERED CLIFFS
WIDTH: 7.25"
-  **HARDIE PANEL VERTICAL SIDING**
TEXTURE: SELECT CEDARMILL
COLOR: ARCTIC WHITE
WIDTH: 48"
-  **HARDIE SOFFIT PANEL**
TEXTURE: VENTED SMOOTH
COLOR: WEATHERED CLIFFS
WIDTH: 16"
-  **HARDIE TRIM BOARD**
TEXTURE: 5/4 RUSTIC
COLOR: COBBLE STONE
WIDTH: 11.25"
-  **SHERWIN-WILLIAMS**
TEXTURE: DURATION EXTERIOR
COLOR: SW 9695 (BETROOT)

GENERAL NOTES

1. WINDOWS ON BUILDINGS 104 & 109 ELEVATION NORTH ARE NOT TYPICAL. USE WINDOW TYPE 'C' AS ALTERNATE (REF. SCHEDULE).

ELEVATION NOTES

1. REFER TO STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED UPON OWNER-SUPPLIED DOCUMENTS AND MAY NOT PRECISELY REFLECT FIELD CONDITIONS.
2. THE CONTRACTOR SHALL NOT CONSIDER CONSTRUCTION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL CONSTRUCTION DRAWING AND NOTES WITH CIVIL, STRUCTURAL, AND MECHANICAL, ELECTRICAL & PLUMBING NOTES AND DRAWINGS.
3. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL FINISHES AND MATERIALS SHALL BE PROPERLY INTEGRATED TO ENSURE A UNIFORM APPEARANCE AND SEAMLESS TRANSITION.
5. PROVIDE ALL BACKING FOR MILLWORK, GRAB BARS, AND ANY AND ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE LOCATIONS.
6. ALL DIMENSIONS ARE FROM STRUCTURAL OR UNFINISHED FACE OF STUD, UNLESS OTHERWISE NOTED.
7. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.
8. PROVIDE A SMOOTH AND LEVEL FINISH FLOOR. TYP. PATCH AND REPAIR ALL INCONSISTENCIES IN FLOOR ELEVATIONS.
9. PATCH AND REPAIR ANY / ALL WALL SURFACES AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR FINISHES.
10. U/L ASSEMBLIES DESCRIBED ARE FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY THE INSTALLATION OF THE DESCRIBED SYSTEM(S).
11. REFER TO DOOR AND FRAME SCHEDULE FOR DOORS REQUIRING ADA ACCESS CONTROL.
12. LOCATE THE HINGE SIDE JAMB OF DOORS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
13. PROVIDE ACOUSTICAL SEALANT AROUND WALL EDGES, TOP AND BOTTOM, AND PENETRATIONS, AND INSTALL PUTTY PADS AROUND ELECTRICAL BOXES WHERE PARTITION CONTAINS ACOUSTICAL INSULATION.
14. REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE. PROVIDE ADDITIONAL SIGNAGE AS MAY BE REQUIRED BY REQUEST OF THE FIRE MARSHAL AND/OR BUILDING CODE OFFICIAL.

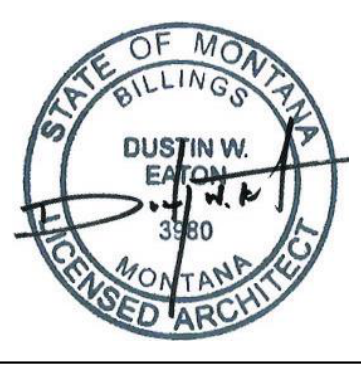
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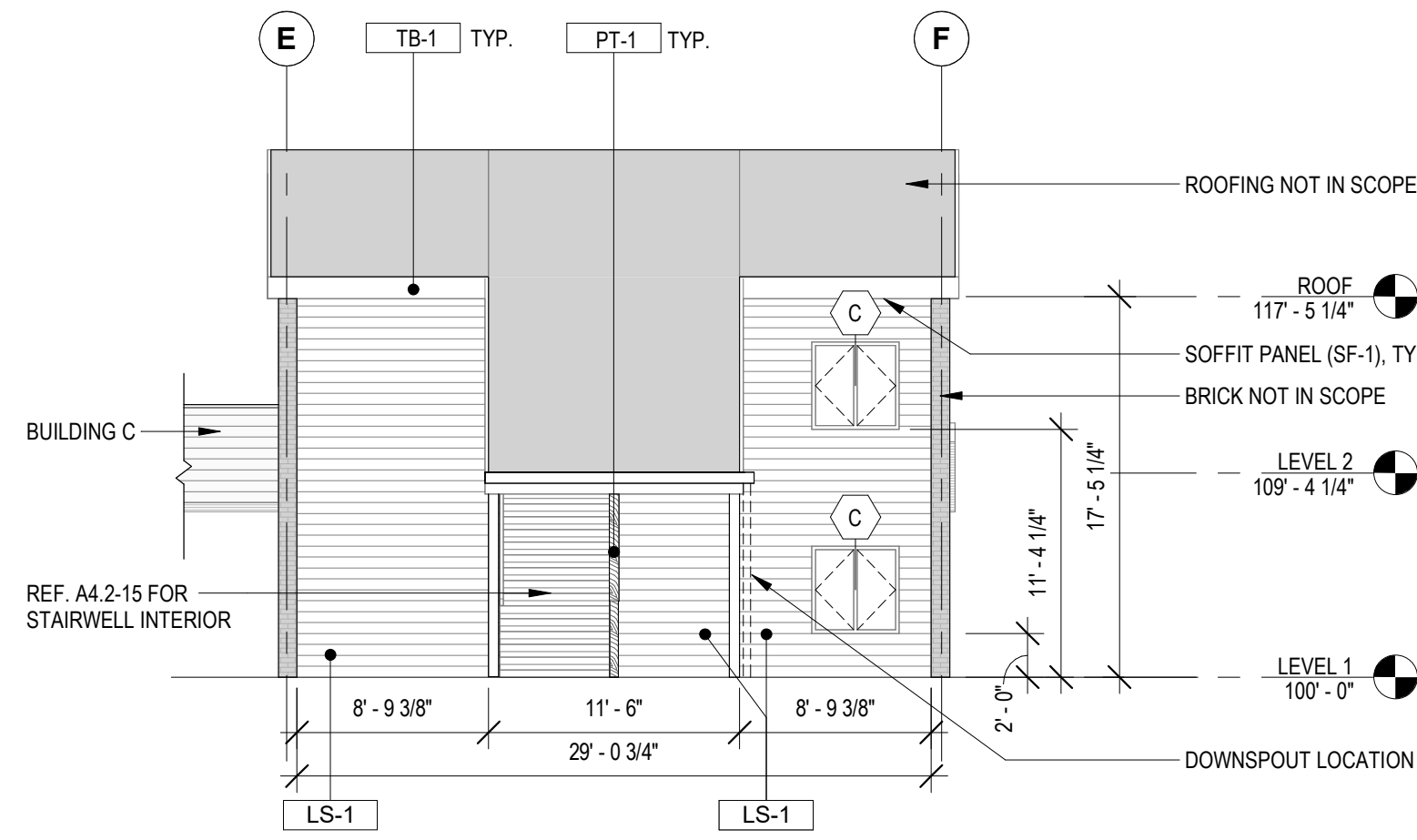
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET
A4.1

DATE
03/29/24

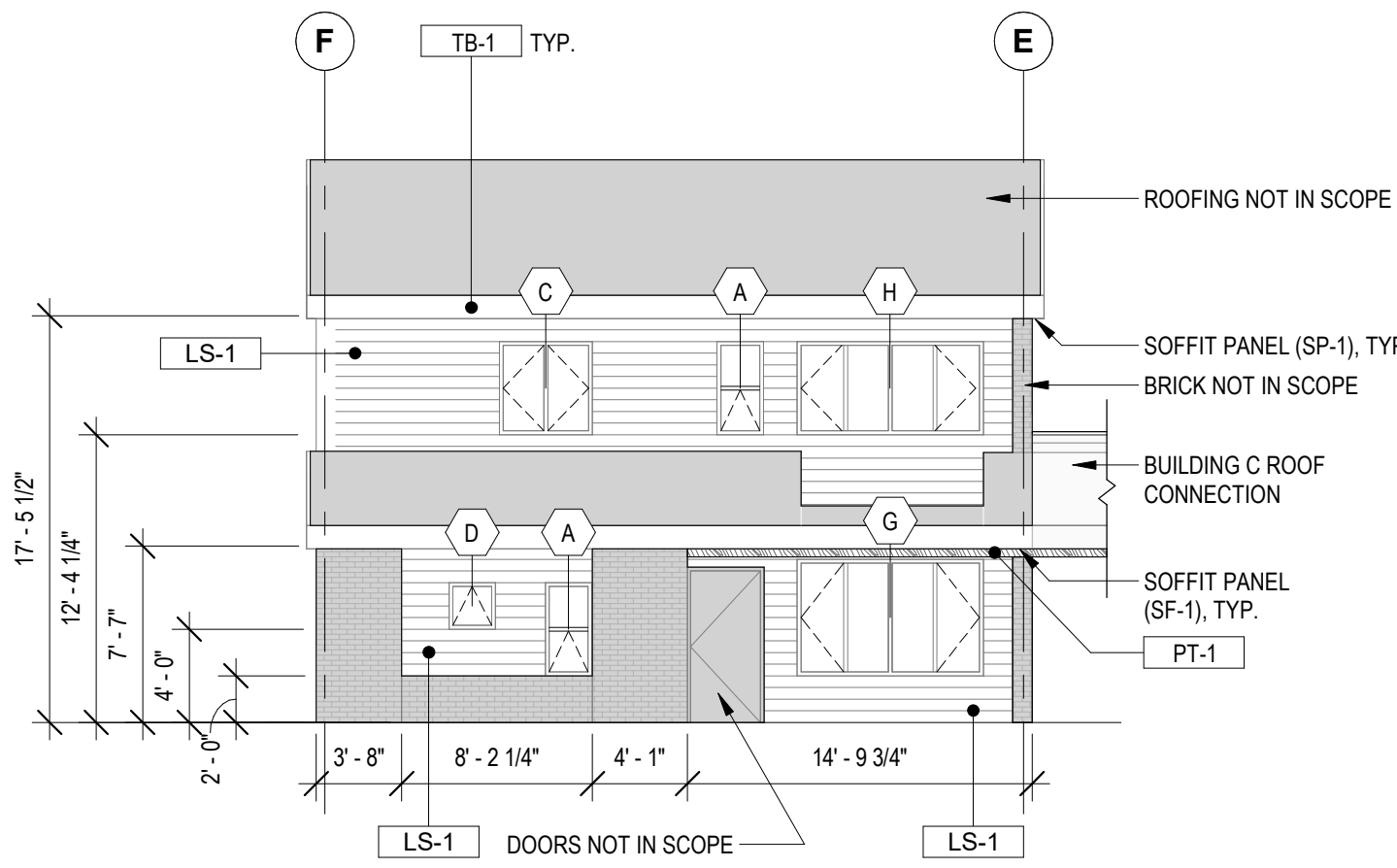


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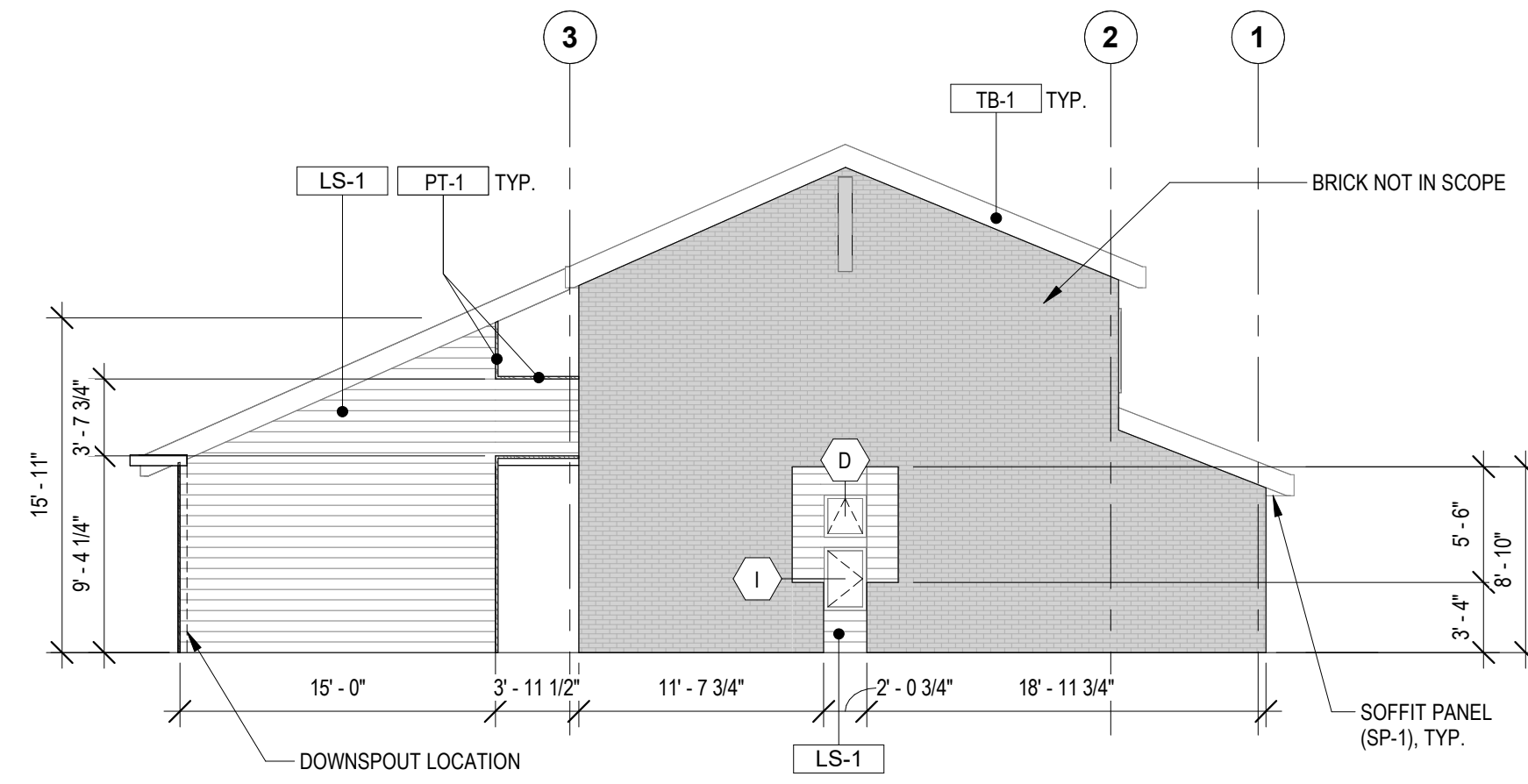
1 BUILDING B - ELEVATION EAST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



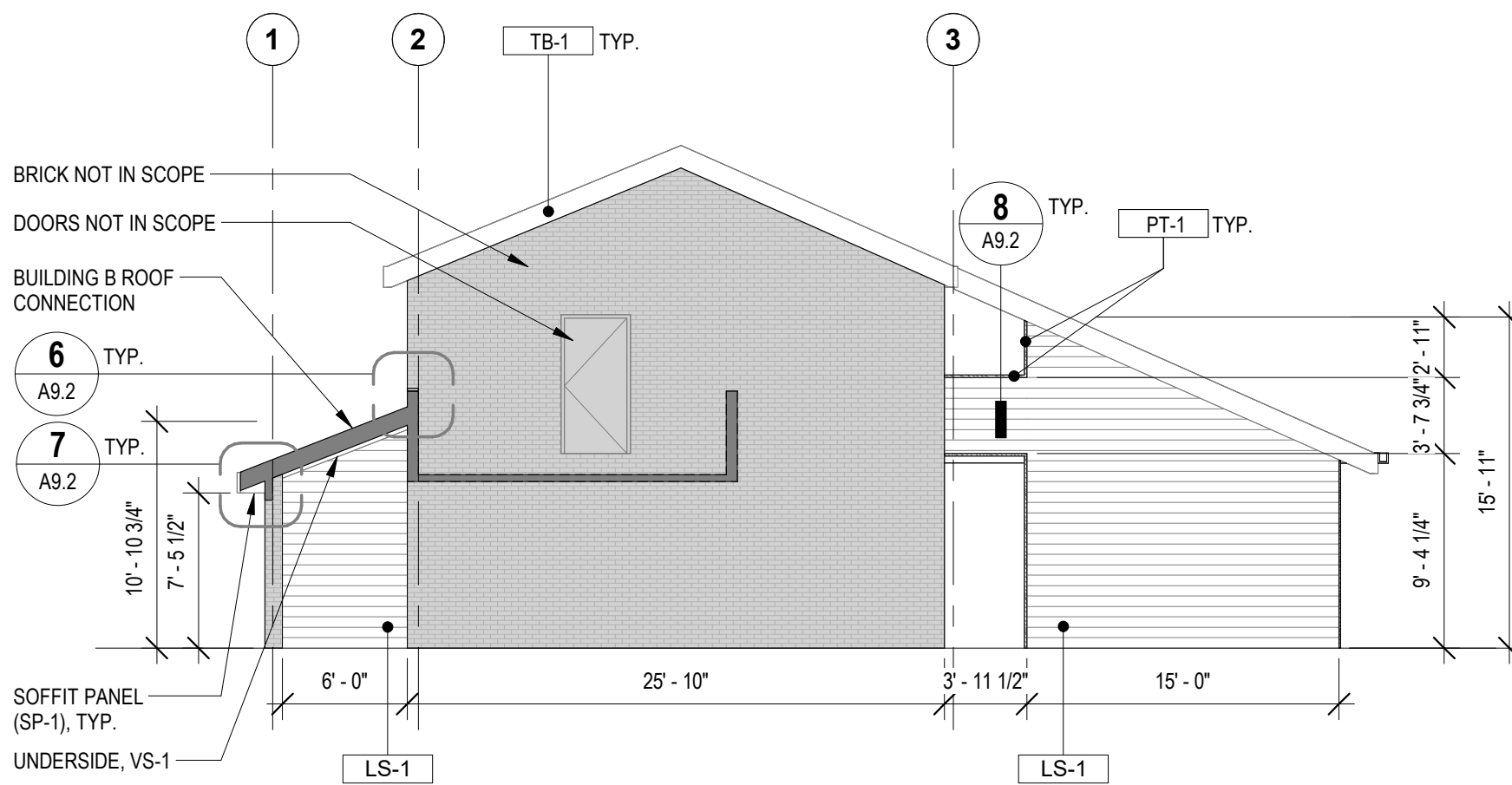
2 BUILDING B - ELEVATION WEST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



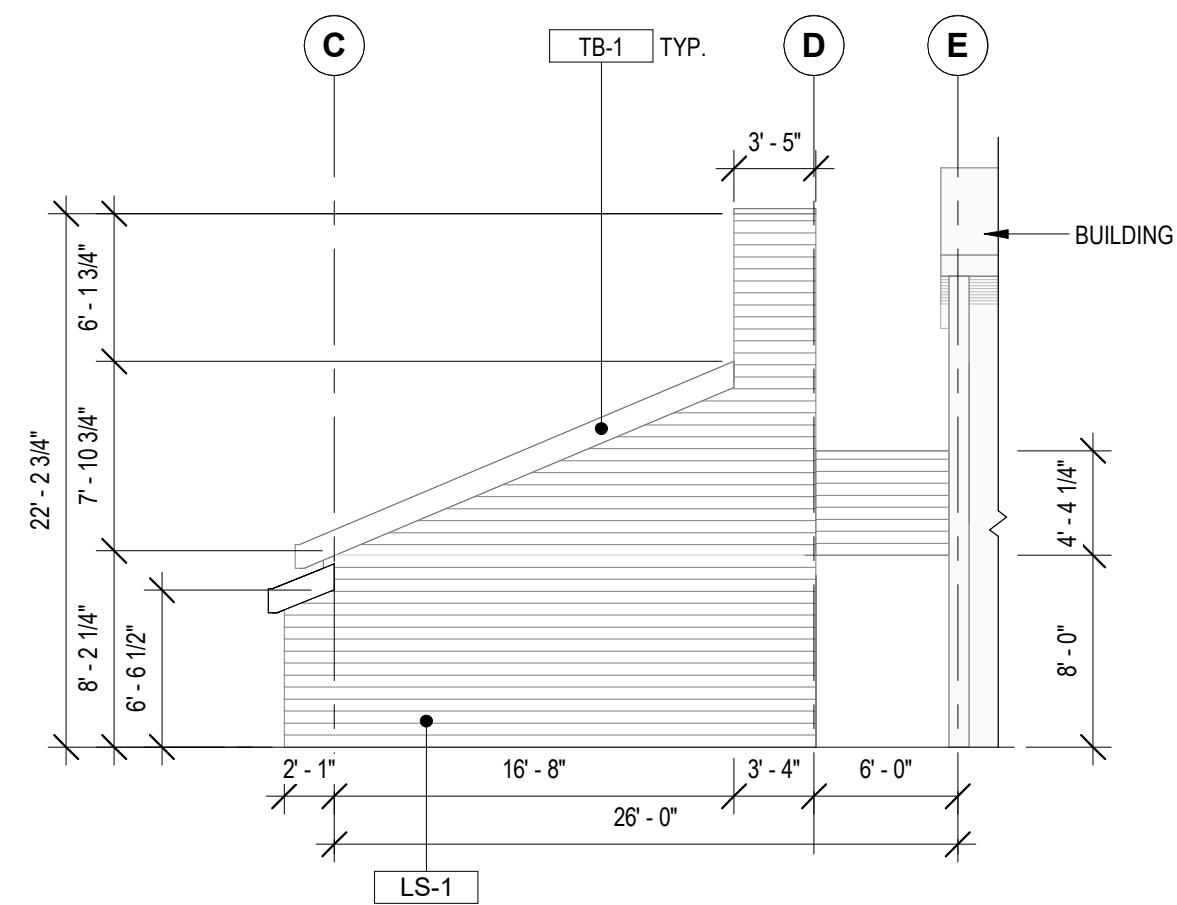
3 BUILDING B - ELEVATION NORTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS



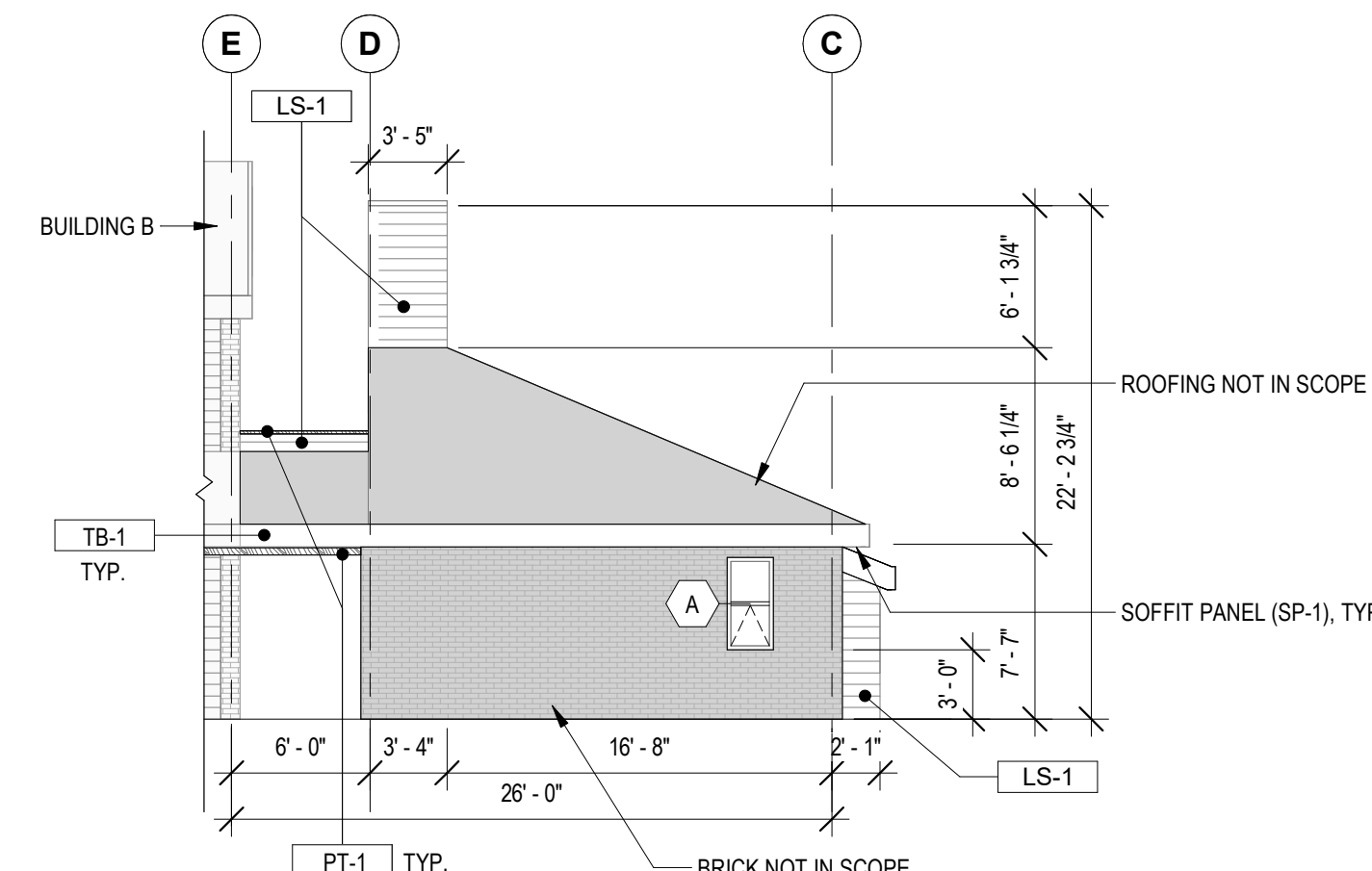
5 BUILDING B - ELEVATION SOUTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.
NOTE: REFERENCE A1.1-1 FOR GUTTER LOCATIONS



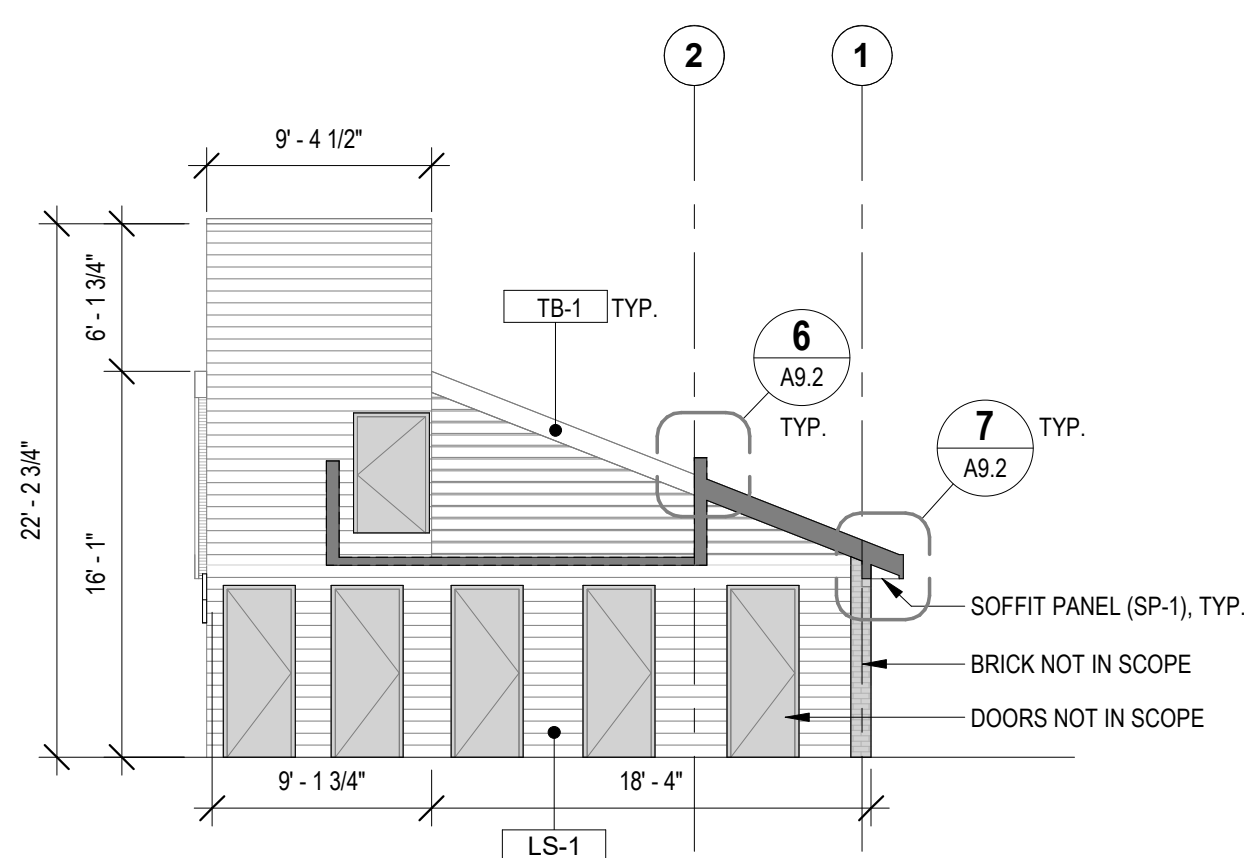
6 BUILDING C - ELEVATION EAST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'C' & 102 BUILDING 'C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



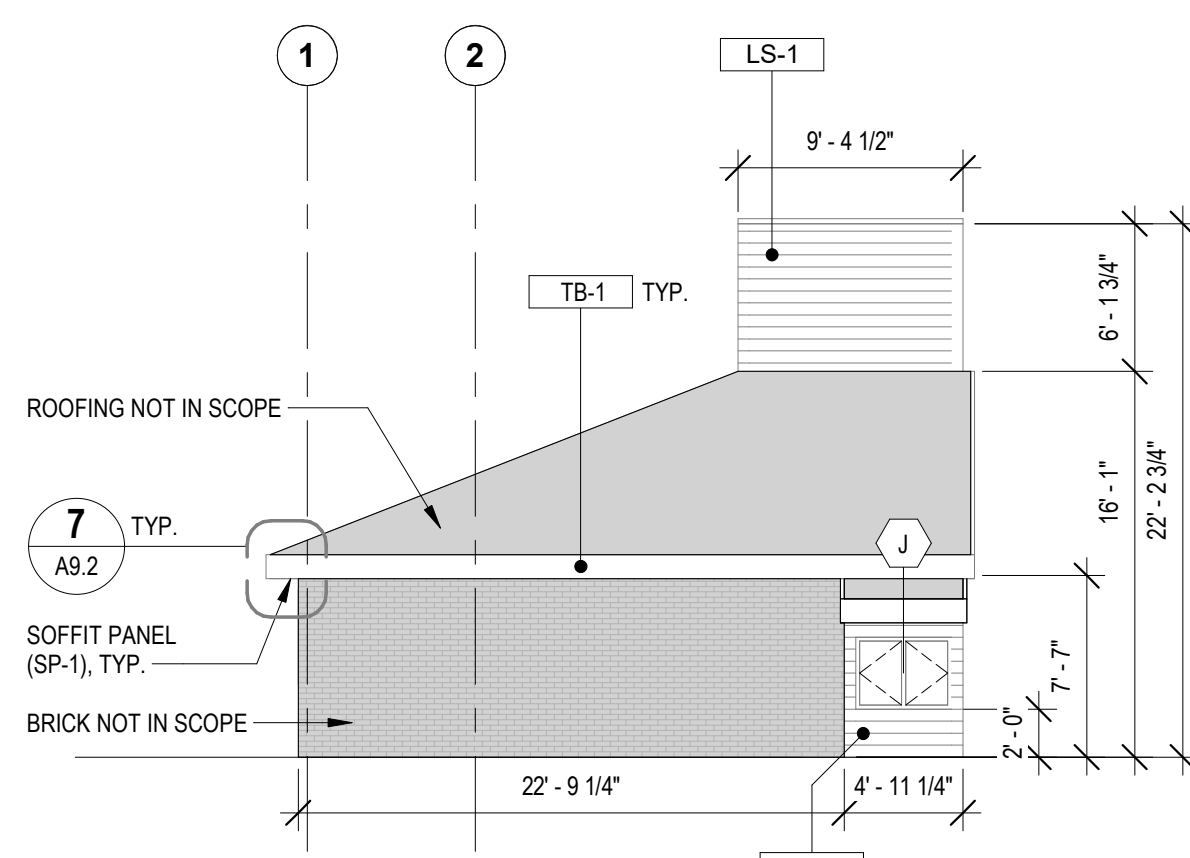
7 BUILDING C - ELEVATION WEST (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'C' & 102 BUILDING 'C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



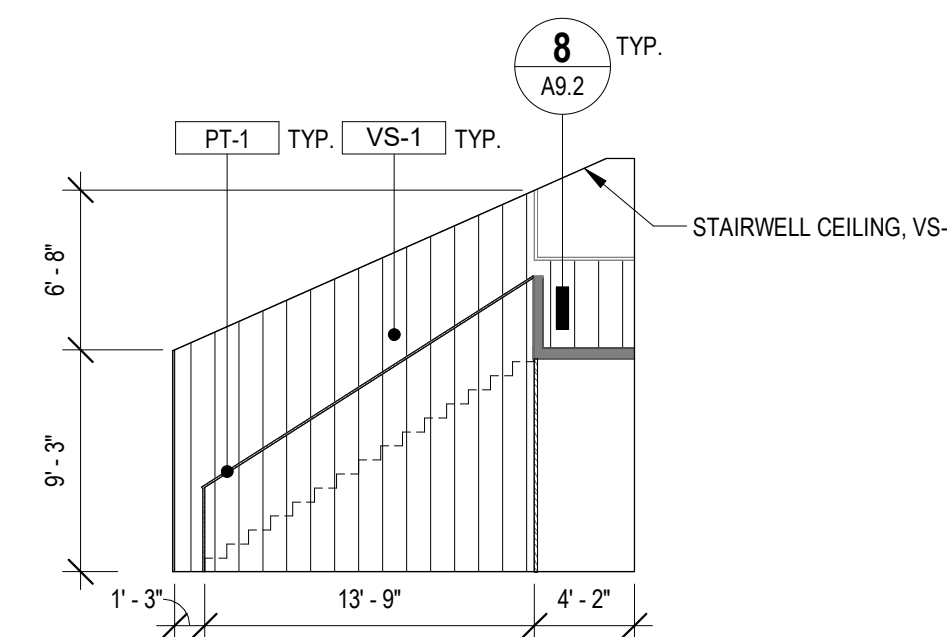
13 BUILDING C - ELEVATION NORTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'C' & 102 BUILDING 'C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



14 BUILDING C - ELEVATION SOUTH (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'C' & 102 BUILDING 'C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.



15 BUILDING B - ELEVATION STAIRWELL INTERIOR (TYP)
1/8" = 1'-0"

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
NOTE: 101 BUILDING 'B' & 102 BUILDING 'B' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

GENERAL NOTES

- LS-1 HARDIE PLANK LAP SIDING
TEXTURE: SELECT CEDARMILL
COLOR: WEATHERED CLIFFS
WIDTH: 7.25"
- VS-1 HARDIE PANEL VERTICAL SIDING
TEXTURE: SELECT CEDARMILL
COLOR: ARCTIC WHITE
WIDTH: 48"
- SP-1 HARDIE SOFFIT PANEL
TEXTURE: VENTED SMOOTH
COLOR: WEATHERED CLIFFS
WIDTH: 16"
- TB-1 HARDIE TRIM BOARD
TEXTURE: 5/4 RUSTIC
COLOR: COBBLE STONE
WIDTH: 11.25"
- PT-1 SHERWIN-WILLIAMS
TEXTURE: DURATION EXTERIOR
COLOR: SW 9695 (BEEWOOD)

GENERAL NOTES

1. 101 BUILDING 'B/C' & 102 BUILDING 'B/C' ARE MIRRORED VERSIONS OF TYPICAL BUILDING.

ELEVATION NOTES

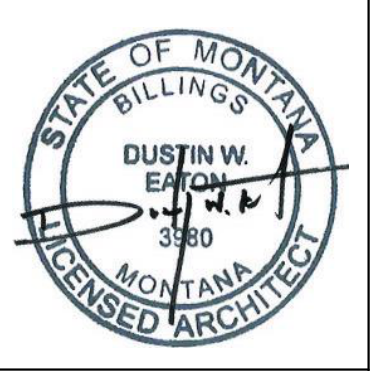
1. REFER TO STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. ALL INFORMATION REGARDING EXISTING CONDITIONS IS BASED UPON OWNER-SUPPLIED DOCUMENTS AND MAY NOT PRECISELY REFLECT FIELD CONDITIONS.
2. THE CONTRACTOR SHALL NOT CONSIDER CONSTRUCTION NOTES TO BE ALL-INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT AND ASSESS EACH AREA AND TO FULFILL THE INTENT OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL COORDINATE ARCHITECTURAL CONSTRUCTION DRAWING AND NOTES WITH CIVIL, STRUCTURAL AND MECHANICAL, ELECTRICAL & PLUMBING NOTES AND DRAWINGS.
3. FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL FINISHES AND MATERIALS SHALL BE PROPERLY INTEGRATED TO ENSURE A UNIFORM APPEARANCE AND SEAMLESS TRANSITION.
5. PROVIDE ALL BACKING FOR MILLWORK, GRAB BARS, AND ANY AND ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES; COORDINATE LOCATIONS.
6. ALL DIMENSIONS ARE FROM STRUCTURAL OR UNFINISHED FACE OF STUD, UNLESS OTHERWISE NOTED.
7. GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE BUILDING CONSTRUCTION.
8. PROVIDE A SMOOTH AND LEVEL FINISH FLOOR, TYP. PATCH AND REPAIR ALL INCONSISTENCIES IN FLOOR ELEVATIONS.
9. PATCH AND REPAIR ANY / ALL WALL SURFACES AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR FINISHES.
10. U.L. ASSEMBLIES DESCRIBED ARE FOR REFERENCE ONLY. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY THE INSTALLATION OF THE DESCRIBED SYSTEM(S).
11. REFER TO DOOR AND FRAME SCHEDULE FOR DOORS REQUIRING ADA ACCESS CONTROL.
12. LOCATE THE HINGE SIDE JAMB OF DOORS 4" FROM ADJACENT PERPENDICULAR WALL, UNLESS NOTED OTHERWISE.
13. PROVIDE ACOUSTICAL SEALANT AROUND WALL EDGES, TOP AND BOTTOM, AND PENETRATIONS, AND INSTALL PUTTY PADS AROUND ELECTRICAL BOXES WHERE PARTITION CONTAINS ACOUSTICAL INSULATION.
14. REFER TO SPECIFICATIONS FOR CODE REQUIRED SIGNAGE. PROVIDE ADDITIONAL SIGNAGE AS MAY BE REQUIRED BY REQUEST OF THE FIRE MARSHAL AND/OR BUILDING CODE OFFICIAL.

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SHEET TITLE
EXTERIOR ELEVATIONS
SHEET
A4.2

DATE
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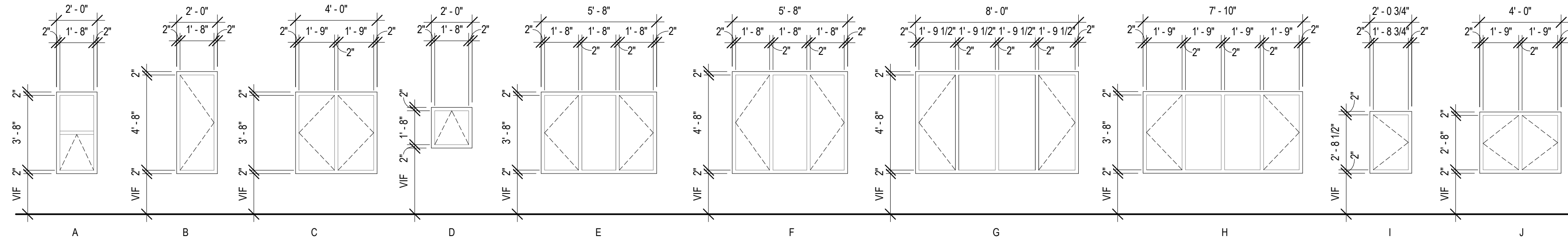


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WINDOW SCHEDULE					
WINDOW NUMBER	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	GLAZING TYPE
A	2'-0"	4'-0"	<varies>	<varies>	GL-1
B	2'-0"	5'-0"	<varies>	<varies>	GL-1
C	4'-0"	4'-0"	<varies>	<varies>	GL-1
D	2'-0"	2'-0"	<varies>	<varies>	GL-1
E	5'-8"	4'-0"	3'-0"	7'-0"	GL-1
F	5'-8"	5'-0"	2'-0"	7'-0"	GL-1
G	8'-0"	5'-0"	<varies>	<varies>	GL-1
H	8'-0"	4'-0"	3'-0"	7'-0"	GL-1
I	2'-0"	3'-0"	2'-0"	5'-0"	GL-1
J	4'-0"	3'-0"	2'-0"	5'-0"	GL-1

WINDOW TYPE ELEVATIONS - VIF

NOTE: FIELD VERIFY ALL DIMENSIONS. DO NOT SCALE DRAWINGS.



GLAZING NOTES

1. GLAZING TO BE GL-1 UNLESS OTHERWISE SPECIFIED.
2. REFERENCE EXTERIOR ELEVATION FOR OPERABLE WINDOW OPENING DIRECTIONS.



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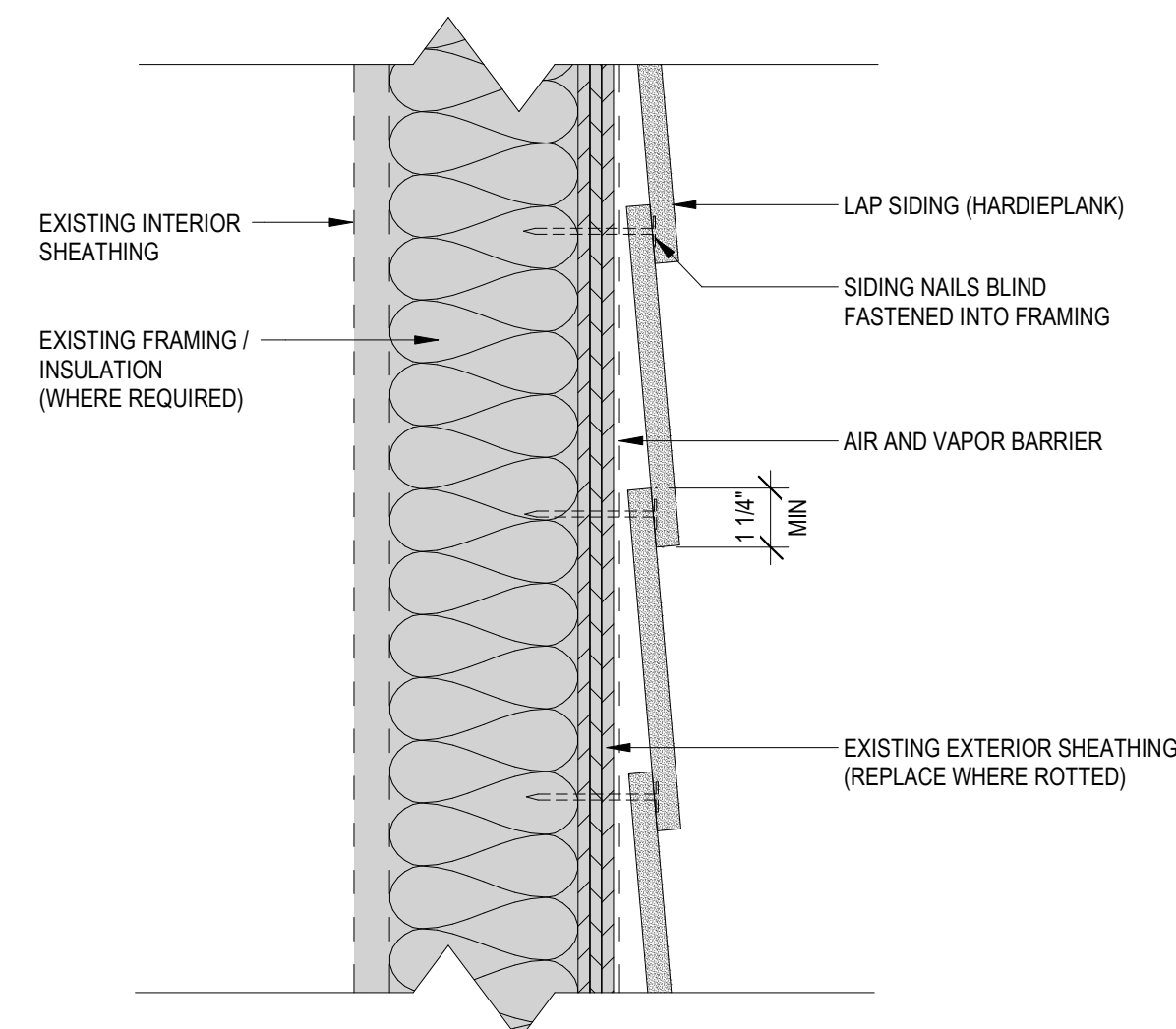


PPA #: 21-0143
A/E #: 21-0143
A&E PROJ #: 23123.00

SHEET TITLE
SCHEDULES

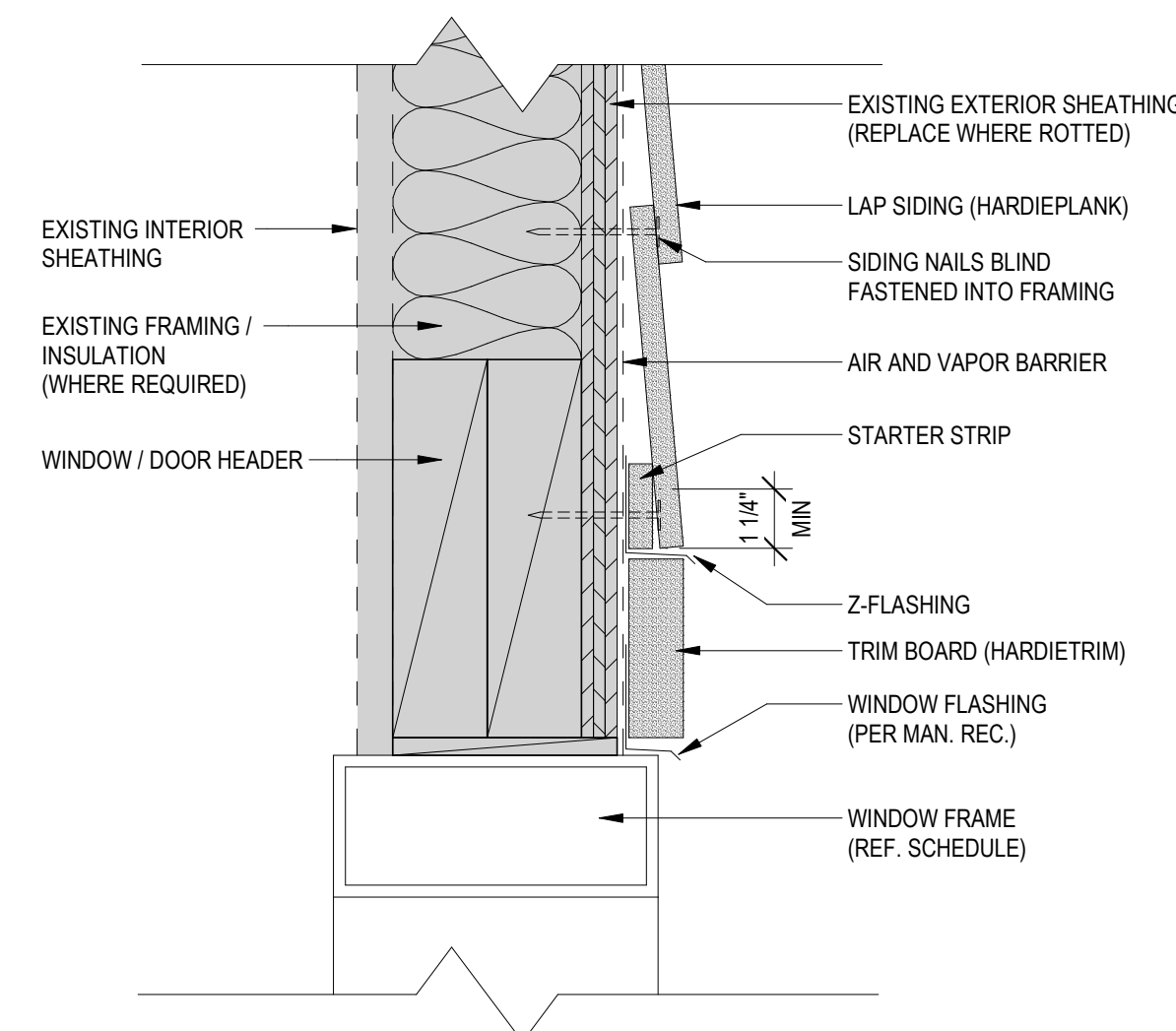
SHEET
A9.1

DATE
03/29/24



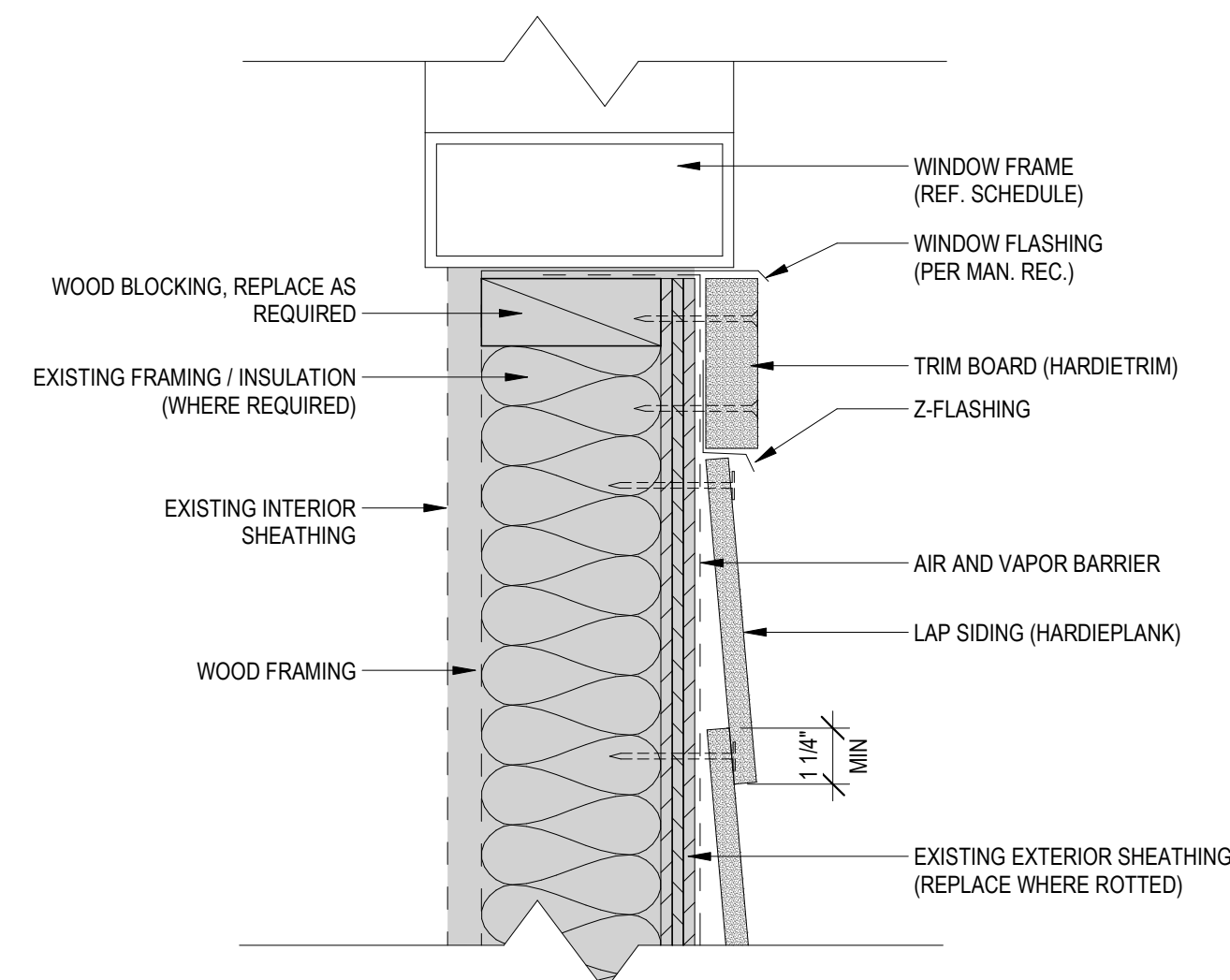
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.05

1 LAP SIDING HORIZONTAL DETAIL (TYP)
3" = 1'-0"



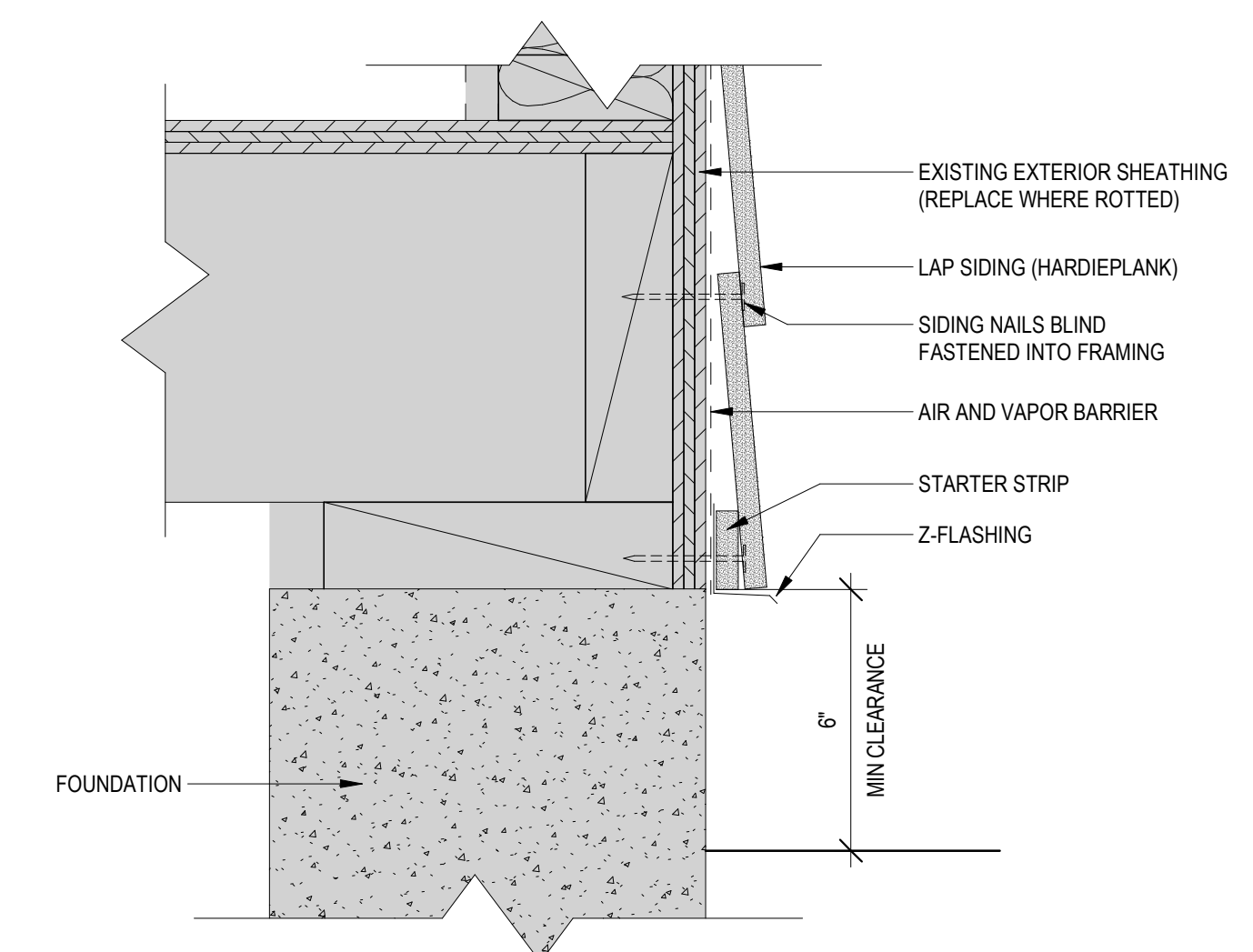
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HARDIPLANK PLANK DETAIL 1.03

2 LAP SIDING HEADER DETAIL (TYP)
3" = 1'-0"



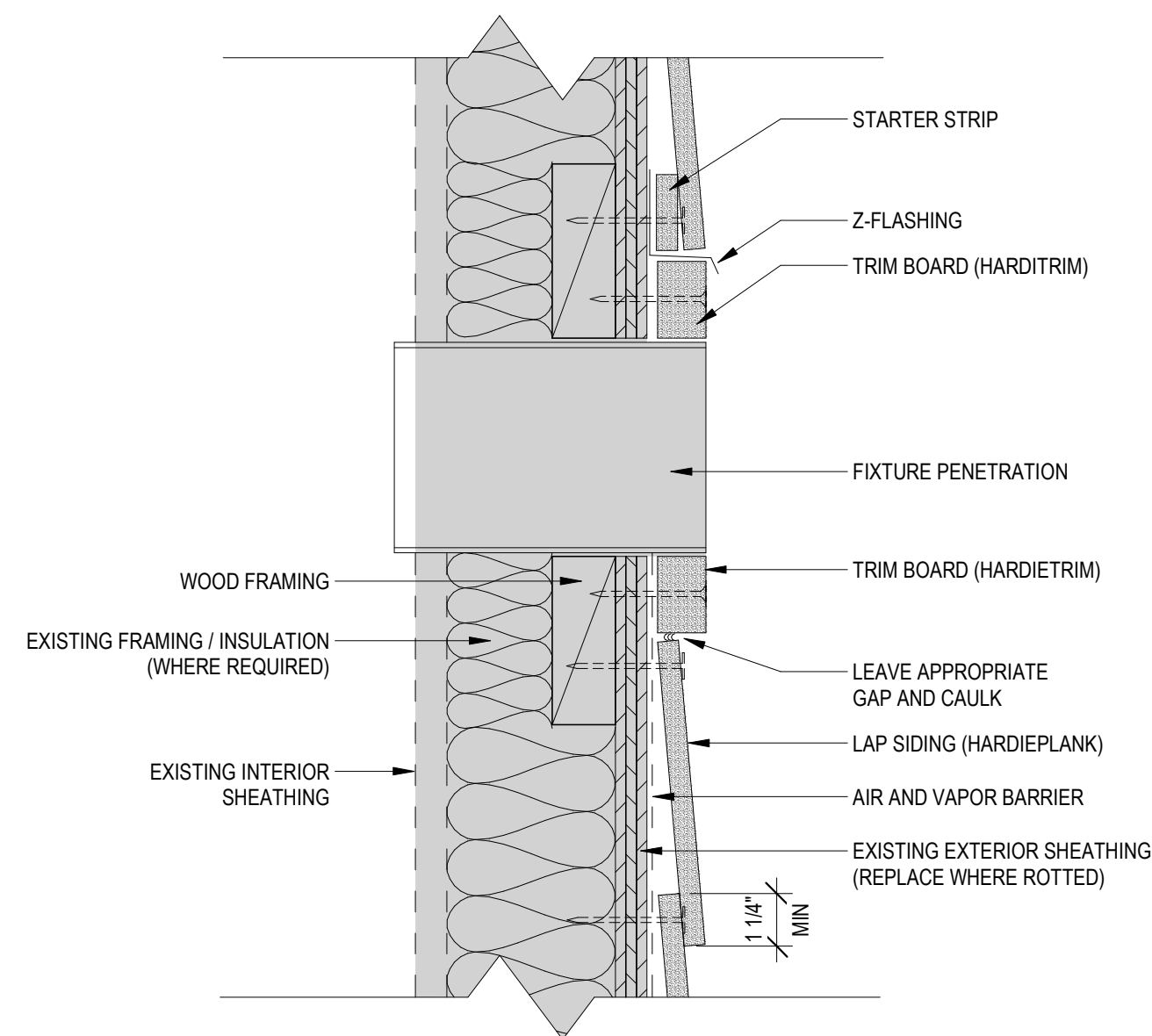
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.04

3 LAP SIDING SILL DETAIL (TYP)
3" = 1'-0"



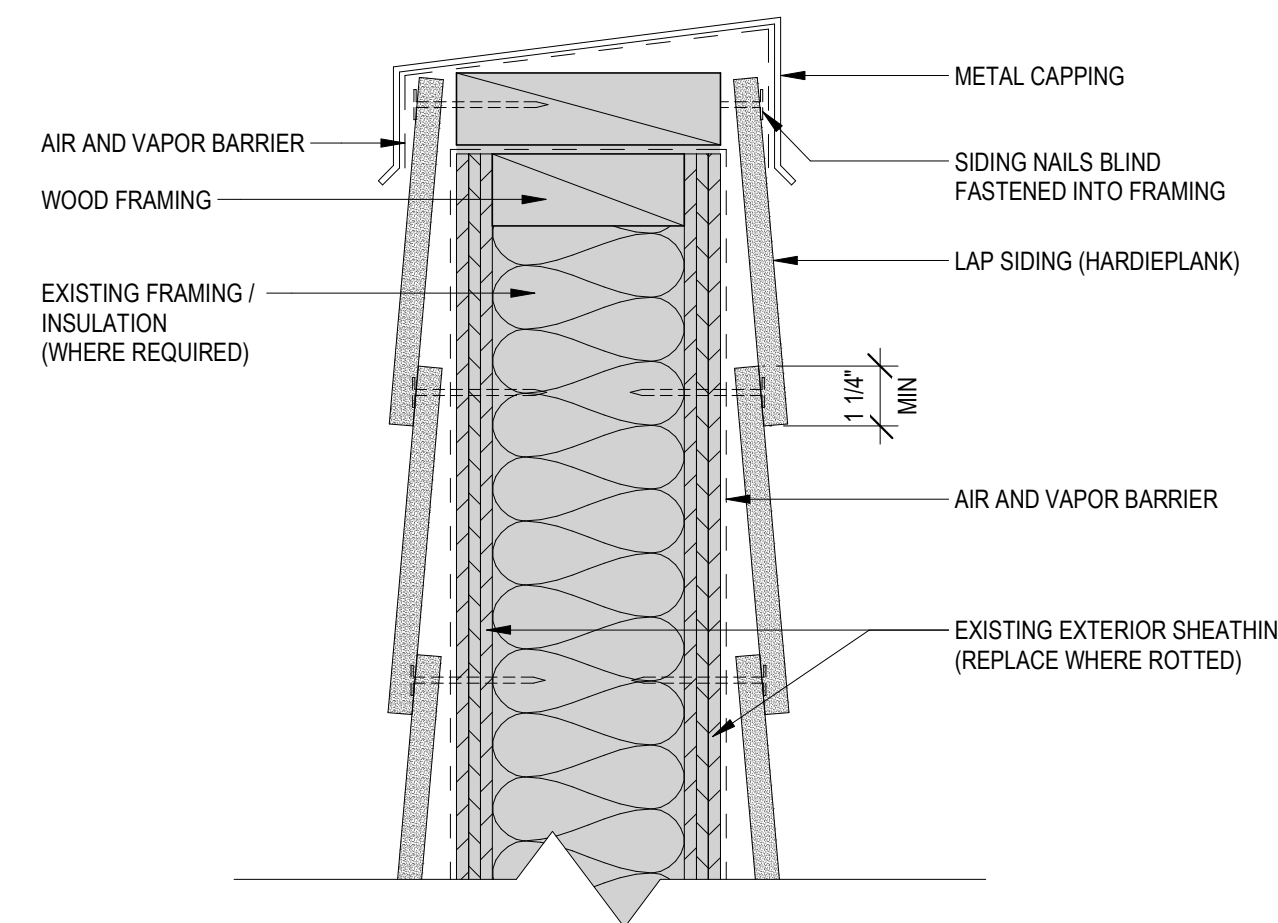
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.06

4 LAP SIDING GRADE DETAIL (TYP)
3" = 1'-0"



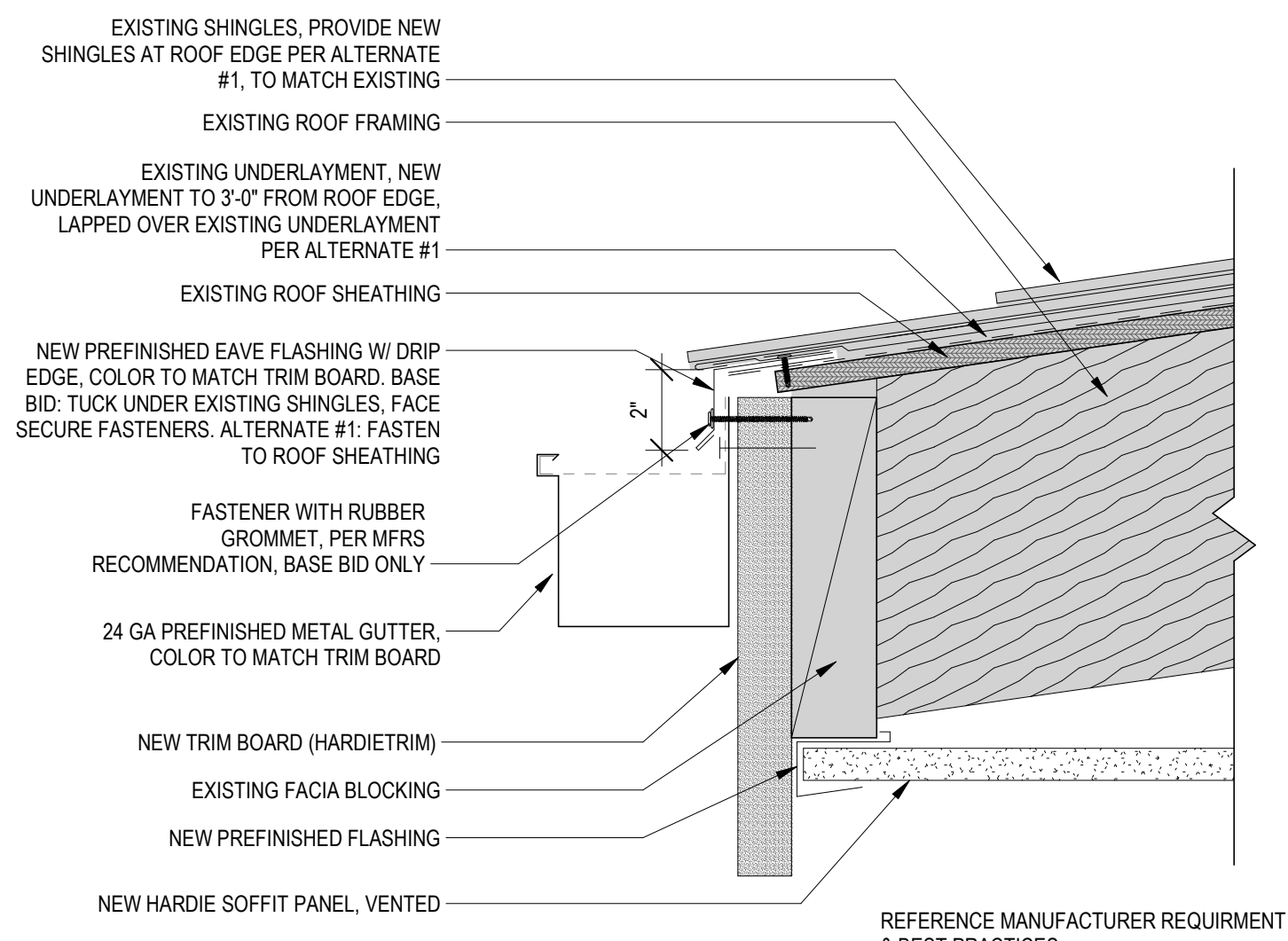
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PANEL DETAIL 1.07

5 LAP SIDING FIXTURE PENETRATION
3" = 1'-0"



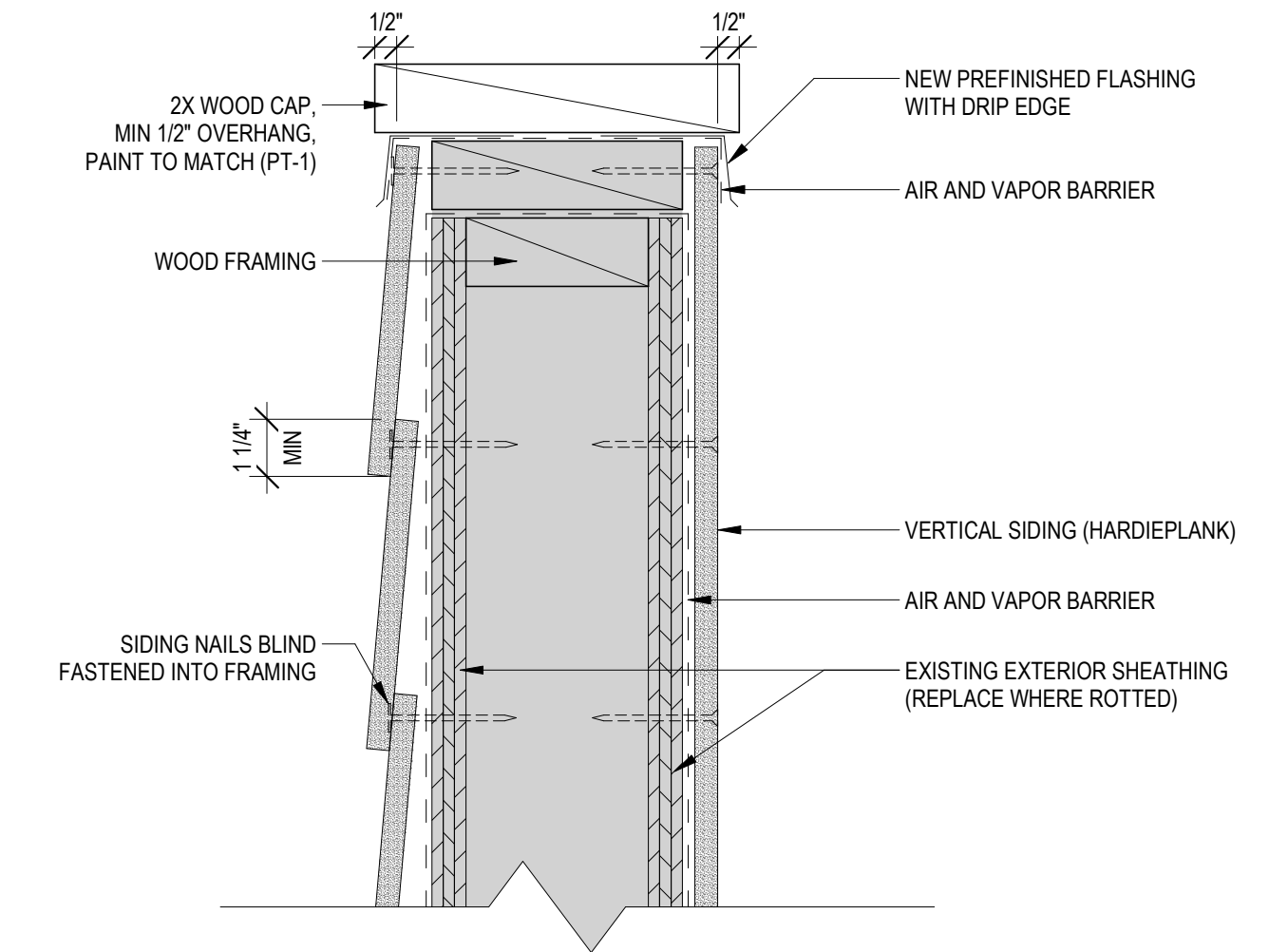
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.09

6 LAP SIDING PARAPET DETAIL
3" = 1'-0"

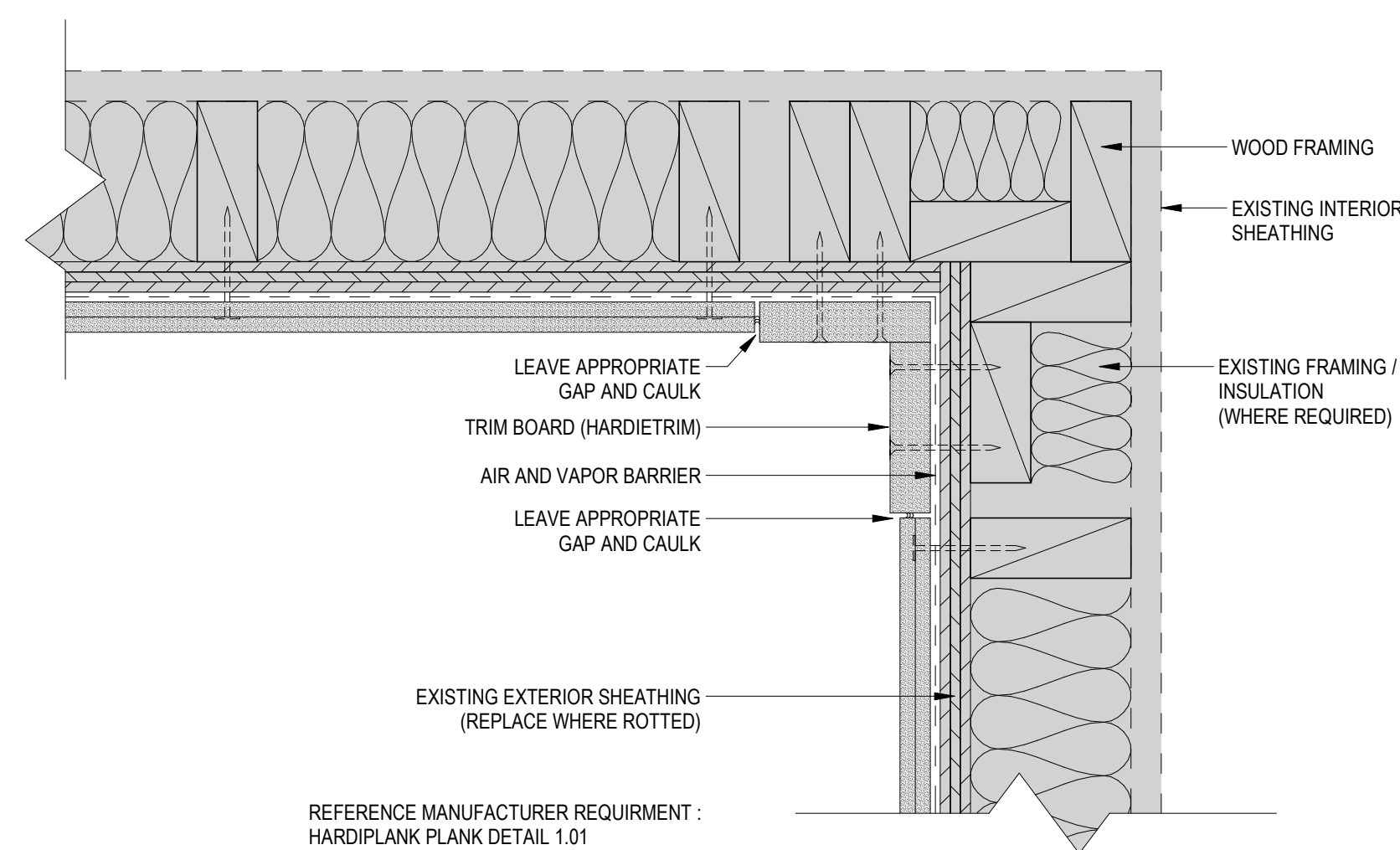


REFERENCE MANUFACTURER REQUIREMENT & BEST PRACTICES

7 EAVE DETAIL (TYP)
3" = 1'-0"

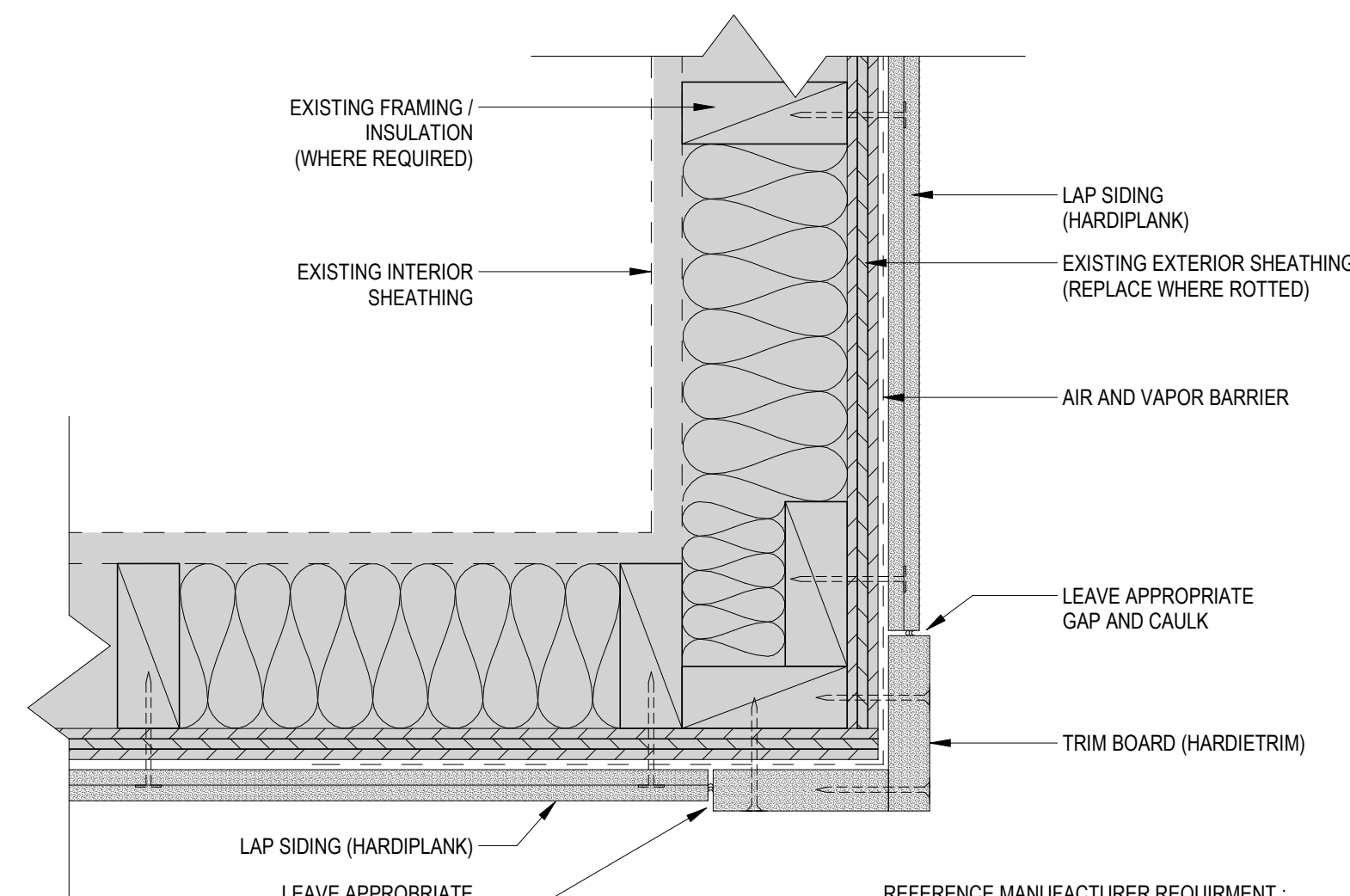


8 LAP SIDING RAILING DETAIL (TYP)
3" = 1'-0"



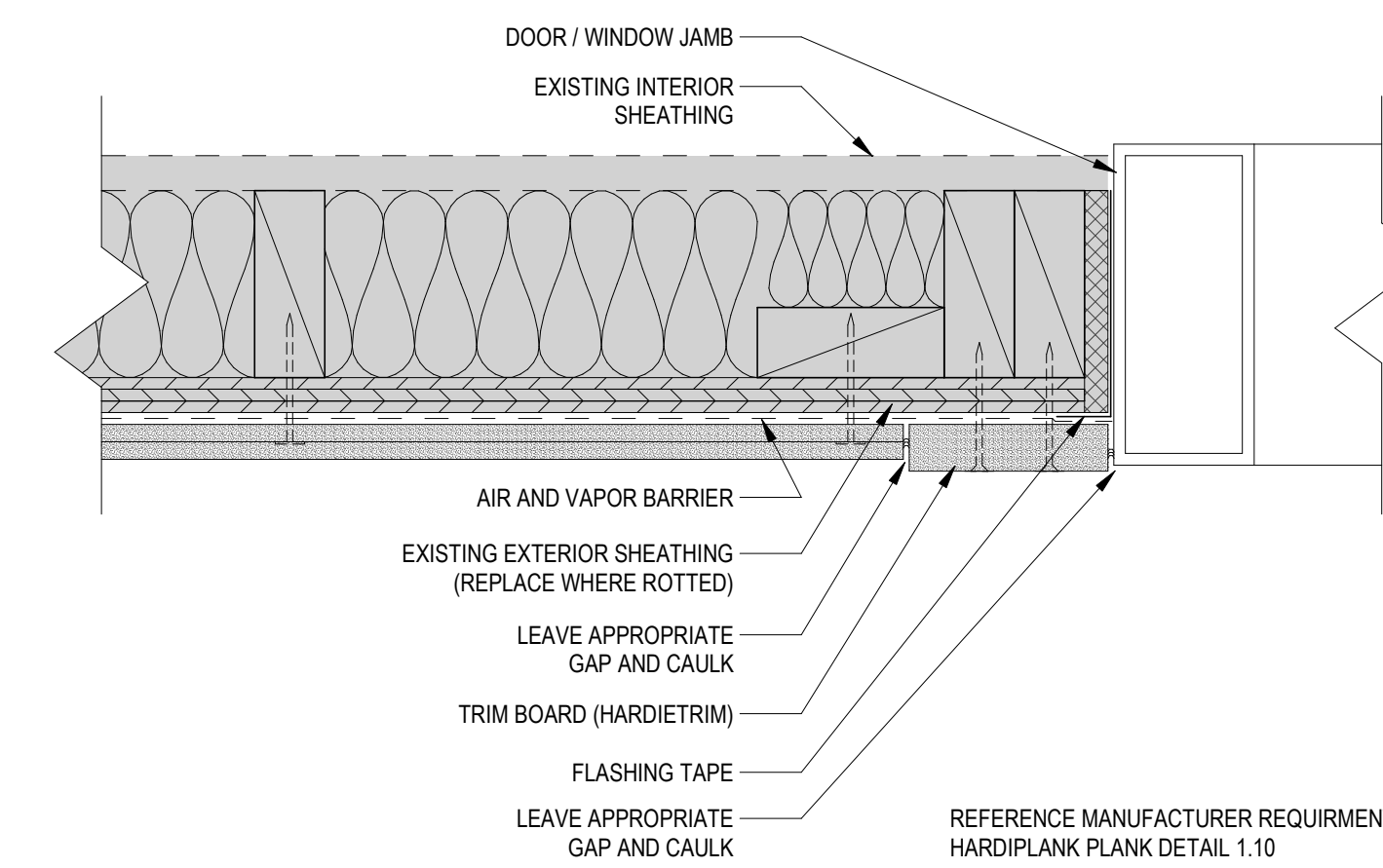
REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.01

13 LAP SIDING INSIDE CORNER DETAIL (TYP)
3" = 1'-0"



REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.02

15 LAP SIDING OUTSIDE CORNER DETAIL (TYP)
3" = 1'-0"



REFERENCE MANUFACTURER REQUIREMENT :
HARDIPLANK PLANK DETAIL 1.10

17 LAP SIDING JAMB DETAIL
3" = 1'-0"

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DETAILS

SHEET
A9.2

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03/29/24